



YARRA RANGES LAWYERS

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Vendor Statement


The vendor makes this statement in respect of the land in accordance with section 32 of the *Sale of Land Act* 1962.

This statement must be signed by the vendor and given to the purchaser before the purchaser signs the contract.
The vendor may sign by electronic signature.

The purchaser acknowledges being given this statement signed by the vendor with the attached documents before the purchaser signed any contract.

Land	28 Morbey Road, Gembrook 3783
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Vendor's name	Eleanor Anne Stockley	Date	04 / 12 / 2023
---------------	-----------------------	------	----------------

Vendor's signature	 Ellie (Dec 4, 2023 15:59 GMT+11)
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Purchaser's name		Date	/ /
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Purchaser's signature	
-----------------------	--

Purchaser's name		Date	/ /
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Purchaser's signature	
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1. FINANCIAL MATTERS

1.1 Particulars of any Rates, Taxes, Charges or Other Similar Outgoings (and any interest on them)

(a) Are contained in the attached certificate/s.

Any further amounts for which the purchaser may become liable as a consequence of the purchase are set out below:-

- Owners Corporation fees, including fees for any Owners Corporation which was not operative at the Day of Sale but which has become operative after the Day of Sale, and/or any special levies struck after the Day of Sale;
- Land Tax, if the property has been assessed for Land Tax after this Vendor's Statement has been prepared. The Purchaser will also be responsible for any Land Tax assessed for the following years if the property is not exempt as the purchaser's principal place of residence;
- Annual increases in all rates and outgoings if the Day of Sale falls into the next rating period after this Vendor's Statement was prepared.

1.2 Particulars of any Charge (whether registered or not) imposed by or under any Act to secure an amount due under that Act, including the amount owing under the charge

	To	
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Other particulars (including dates and times of payments):

1.3 Terms Contract

This section 1.3 only applies if this vendor statement is in respect of a terms contract where the purchaser is obliged to make 2 or more payments (other than a deposit or final payment) to the vendor after the execution of the contract and before the purchaser is entitled to a conveyance or transfer of the land.

Not Applicable.

1.4 Sale Subject to Mortgage

This section 1.4 only applies if this vendor statement is in respect of a contract which provides that any mortgage (whether registered or unregistered), is NOT to be discharged before the purchaser becomes entitled to possession or receipts of rents and profits.

Not Applicable.

2. INSURANCE

2.1 Damage and Destruction

This section 2.1 only applies if this vendor statement is in respect of a contract which does NOT provide for the land to remain at the risk of the vendor until the purchaser becomes entitled to possession or receipt of rents and profits.

Not Applicable.

2.2 Owner Builder

This section 2.2 only applies where there is a residence on the land that was constructed by an owner-builder within the preceding 6 years and section 137B of the Building Act 1993 applies to the residence.

Not Applicable.

3. LAND USE

3.1 Easements, Covenants or Other Similar Restrictions

(a) A description of any easement, covenant or other similar restriction affecting the land (whether registered or unregistered): -

Is in the attached copies of title documents.

(b) Particulars of any existing failure to comply with that easement, covenant or other similar restriction are:

To the best of the vendors knowledge there is no existing failure to comply with the terms of any easement, covenant or other similar restriction. However, underground electricity cables, NBN cables, telephone cables, sewers and drains may be laid outside registered easements. The Purchasers should make their own enquiries regarding same prior to committing to purchase.

3.2 Road Access

There is NO access to the property by road if the square box is marked with an 'X'

3.3 Designated Bushfire Prone Area

The land is in a designated bushfire prone area within the meaning of regulations made under the *Building Act 1993* if the square box is marked with an 'X'

3.4 Planning Scheme

Attached is a Property Report with the required specified information.

Where the property is outside the metropolitan area (as defined in the Sale of Land Act 1962 (Vic)) the planning instrument may or may not prohibit the construction of a dwelling house on the property. The purchaser should conduct appropriate enquiries prior to committing to purchase.

The property may be in an area which is subject to special overlays which control subdivisions, building heights, environmental, wildfire management, significant landscape, design and development, heritage and vegetation issues.

Proposed Planning Scheme Amendments – This property may be subject to Planning Scheme Amendments proposed by the Responsible Authority. The Purchasers should conduct appropriate enquiries prior to committing to purchase.

The property may be inside or outside the Urban Growth Boundary Ministerial Direction No 10. The Urban Growth Boundary may or may not apply to this property. The Purchasers should conduct their own enquiries prior to committing to purchase.

4. NOTICES

4.1 Notice, Order, Declaration, Report or Recommendation

Particulars of any notice, order, declaration, report or recommendation of a public authority or government department or approved proposal directly and currently affecting the land, being a notice, order, declaration, report, recommendation or approved proposal of which the vendor might reasonably be expected to have knowledge:

Are as follows:

Attached, if applicable, otherwise none to the Vendors knowledge.

The Vendor has no means of knowing all decisions of Public Authorities and Government Departments affecting the property unless communicated to the Vendor.

4.2 Agricultural Chemicals

There are NO notices, property management plans, reports or orders in respect of the land issued by a government department or public authority in relation to livestock disease or contamination by agricultural chemicals affecting the ongoing use of the land for agricultural purposes. However, if this is not the case, the details of any such notices, property management plans, reports or orders, are as follows:

Nil.

4.3 Compulsory Acquisition

The particulars of any notices of intention to acquire that have been served under section 6 of the *Land Acquisition and Compensation Act 1986* are as follows:

Nil.

5. BUILDING PERMITS

Particulars of any building permit issued under the *Building Act* 1993 in the preceding 7 years (required only where there is a residence on the land):

Are contained in the attached certificate.

The Purchaser acknowledges that the Vendor makes no representation that the improvements on the land sold or any alterations or additions thereto comply with the requirements of the responsible authorities. The Purchaser acknowledges having inspected the property hereby sold and save as is otherwise expressly provided acknowledges that it is purchasing the property in its present condition and state of repair and that the Vendor is under no liability or obligation to the Purchaser to carry out any repairs, renovations, alterations or improvements to the property sold or to obtain any Permit or Final Inspection.

6. OWNERS CORPORATION

This section 6 only applies if the land is affected by an owners corporation within the meaning of the *Owners Corporations Act* 2006.

Not Applicable.

7. GROWTH AREAS INFRASTRUCTURE CONTRIBUTION (“GAIC”)

Not applicable.

8. SERVICES

The services which are marked with an ‘X’ in the accompanying square box are NOT connected to the land:

Electricity supply <input type="checkbox"/>	Gas supply <input checked="" type="checkbox"/>	Water supply <input checked="" type="checkbox"/>	Sewerage <input checked="" type="checkbox"/>	Telephone services <input checked="" type="checkbox"/>
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9. TITLE

Attached are copies of the following documents:

9.1 (a) **Registered Title**

A Register Search Statement and the document, or part of a document, referred to as the 'diagram location' in that statement which identifies the land and its location.

10. SUBDIVISION

10.1 Unregistered Subdivision

This section 10.1 only applies if the land is subject to a subdivision which is not registered.

Not Applicable.

10.2 Staged Subdivision

This section 10.2 only applies if the land is part of a staged subdivision within the meaning of section 37 of the *Subdivision Act* 1988.

Not Applicable.

10.3 Further Plan of Subdivision

This section 10.3 only applies if the land is subject to a subdivision in respect of which a further plan within the meaning of the *Subdivision Act* 1988 is proposed.

Not Applicable.

11. DISCLOSURE OF ENERGY INFORMATION

(Disclosure of this information is not required under section 32 of the Sale of Land Act 1962 but may be included in this vendor statement for convenience.)

Details of any energy efficiency information required to be disclosed regarding a disclosure affected building or disclosure area affected area of a building as defined by the *Building Energy Efficiency Disclosure Act* 2010 (Cth)

- (a) to be a building or part of a building used or capable of being used as an office for administrative, clerical, professional or similar based activities including any support facilities; and
- (b) which has a net lettable area of at least 2000m²; (but does not include a building under a strata title system or if an occupancy permit was issued less than 2 years before the relevant date):

Not Applicable.

12. DUE DILIGENCE CHECKLIST

(The Sale of Land Act 1962 provides that the vendor or the vendor's licensed estate agent must make a prescribed due diligence checklist available to purchasers before offering land for sale that is vacant residential land or land on which there is a residence. The due diligence checklist is NOT required to be provided with, or attached to, this vendor statement but the checklist may be attached as a matter of convenience.)

Is attached.

13. ATTACHMENTS

(Any certificates, documents and other attachments may be annexed to this section 13)

(Additional information may be added to this section 13 where there is insufficient space in any of the earlier sections)

(Attached is an "Additional Vendor Statement" if section 1.3 (Terms Contract) or section 1.4 (Sale Subject to Mortgage) applies)

Register Search Statement (Title) Volume 10275 Folio 831
 Copy of Plan PS307547R
 Department of Environment, Land, Water & Planning: Planning Certificate Express
 Planning Property Report
 Cardinia Shire Council: Land Information Certificate
 Yarra Valley Water: Water Information Statement
 State Revenue Office: Land Tax
 Environment Protection Authority: Extract of Priority Sites Register
 Cardinia Shire Council: Building Approval 326 (1) Form 10
 Planning Permit
 Building Permit
 Waste Water Management System Permit
 137B Owner Builder Report
 Building Notice
 Due Diligence Checklist

- 14. If the property sold contains a dwelling house it is the Purchaser's responsibility to ensure that the dwelling is fitted with approved smoke alarms pursuant to Clause E1.7 of the Building Code of Australia and Regulation 4.14 of the Building Regulations 1994 within 30 days of settlement of this Contract.
- 15. In the event that a swimming pool/spa/pond is on the land herein described the Purchaser may be required to comply with the provisions of the Building Act 1993 and the Building Regulations 1994 and in particular Regulation 5.13, requiring provision of barriers to restrict access to the pool/spa/pond, within 30 days of completion of the Contract. The Purchaser will not call upon the Vendor to comply with any of the above requirements, and acknowledges they are responsible for any costs associated therein.

17. MATERIAL FACTS

In accordance with Section 12(d) of the *Sale of Land Act 1962* the Vendor discloses the following material facts:

- 1. The agricultural building erected at the property has been partially completed by the Vendor as an Owner Builder. The purchaser will be required to complete the remainder of the works.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 10275 FOLIO 831

Security no : 124109999143S
Produced 24/10/2023 12:38 PM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 307547R.

PARENT TITLES :

Volume 03645 Folio 957 Volume 03707 Folio 291

Created by instrument PS307547R 27/03/1996

REGISTERED PROPRIETOR

Estate Fee Simple

Sole Proprietor

ELEANOR ANNE STOCKLEY of UNIT 201 16 PORTER STREET PRAHRAN VIC 3181
AU459827N 16/06/2021

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AU341581C 14/05/2021
COMMONWEALTH BANK OF AUSTRALIA

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS307547R FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: MORBEY ROAD GEMBROOK VIC 3783

ADMINISTRATIVE NOTICES

NIL

eCT Control 18601V BANKWEST
Effective from 16/06/2021

DOCUMENT END



Imaged Document Cover Sheet


The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	PS307547R
Number of Pages (excluding this cover sheet)	2
Document Assembled	24/10/2023 13:03

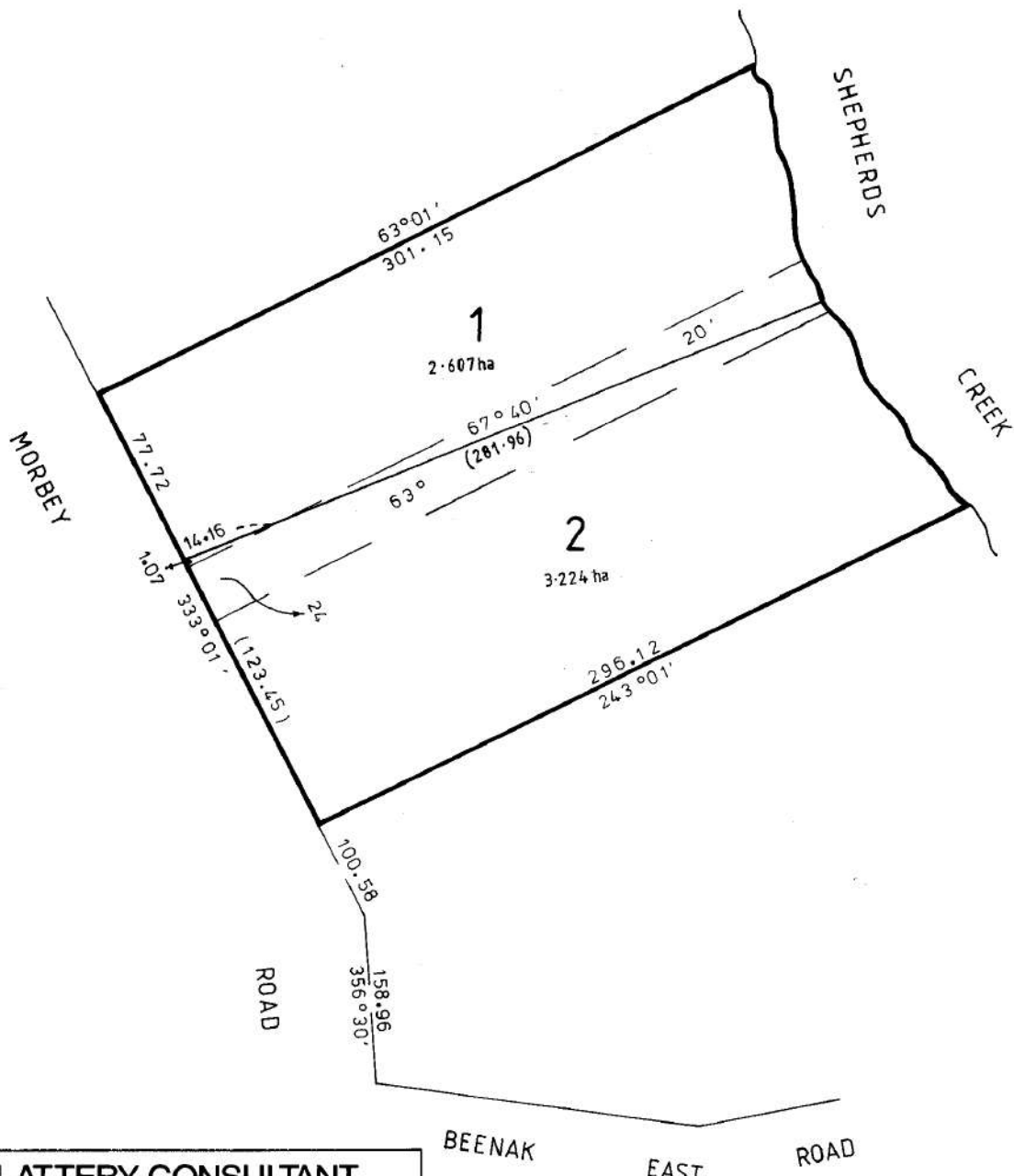
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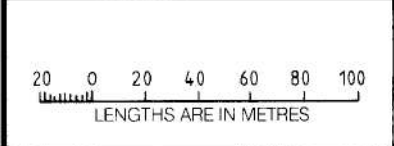
The document is invalid if this cover sheet is removed or altered.

PLAN OF SUBDIVISION		STAGE No. /	LTO USE ONLY EDITION	PLAN NUMBER PS 307547 R
LOCATION OF LAND PARISH: Gembrook TOWNSHIP: _____ SECTION: _____ CROWN ALLOTMENT: 14 & 15 (Part) CROWN PORTION: _____ LTO BASE RECORD: PARISH 2 (2645) TITLE REFERENCES: V3707 F.291 & V.3645 F.957 LAST PLAN REFERENCE/S: Lots 15 & 16 on LP 4620 POSTAL ADDRESS: 26 Morbey Road (At time of subdivision) Gembrook 3783 AMG Co-ordinates (of plan centre of land in plan) E 374500 N 5798600 ZONE: 55		COUNCIL CERTIFICATION AND ENDORSEMENT COUNCIL NAME: SHIRE OF PAKENHAM REF: S94/105 1. This plan is certified under Section 6 of the Subdivision Act 1988. 2. This plan is certified under Section 11(7) of the Subdivision Act 1988. Date of original certification under Section 6. / / 3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988. OPEN SPACE (i) A requirement for public open space under Section 18 of the Subdivision Act 1988 has/has not been made. (ii) The requirement has been satisfied. (iii) The requirement is to be satisfied in Stage Council Delegate _____ Council Seal Date 2 / 12 / 94 Re-certified under Section 11(7) of the Subdivision Act 1988. Council Delegate _____ Council Seal _____ Date / /		
VESTING OF ROADS AND/OR RESERVES				
IDENTIFIER		COUNCIL/BODY/PERSON		
Nil				
NOTATIONS				
STAGING This is/is not a staged subdivision. Planning permit No. T 94 / 166				
DEPTH LIMITATION _____				
SURVEY: THIS PLAN IS/ IS NOT BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) IN PROCLAIMED SURVEY AREA No.				
EASEMENT INFORMATION				LTO USE ONLY
LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				STATEMENT OF COMPLIANCE/ EXEMPTION STATEMENT
				RECEIVED <input checked="" type="checkbox"/>
				DATE: 2 / 3 / 96
				LTO USE ONLY
				PLAN REGISTERED TIME 2:10 pm DATE 27 / 3 / 96
				 Assistant Registrar of Titles
				SHEET 1 OF 2 SHEETS
SLATTERY CONSULTANT SURVEYORS PTY LTD 40 Henry Street, Pakenham. Ph. (059) 41 1726 Fax. (059) 41 3436		LICENSED SURVEYOR (PRINT) Thomas O'Brien Slattery		
		SIGNATURE _____ DATE 25 / 11 / 94		DATE / /
		REF 1283 / 2 VERSION 1		COUNCIL DELEGATE SIGNATURE _____
				ORIGINAL SHEET SIZE A3

PLAN OF SUBDIVISION	STAGE No. _____	PLAN NUMBER PS 307547R
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SLATTERY CONSULTANT SURVEYORS PTY LTD
 40 Henry Street, Pakenham.
 Ph. (059) 41 1726 Fax. (059) 41 3436



ORIGINAL SCALE SHEET SIZE
 1:2000 A3

LICENSED SURVEYOR (PRINT) Thomas O'Brien Slattery
 SIGNATURE _____ DATE / /
 REF **1283/2** VERSION 1

SHEET 2 OF 2 SHEETS
 DATE / /
 COUNCIL DELEGATE SIGNATURE _____

PLANNING CERTIFICATE

Official certificate issued under Section 199 Planning & Environment Act 1987
and the Planning and Environment Regulations 2005

CERTIFICATE REFERENCE NUMBER

975111

APPLICANT'S NAME & ADDRESS

YARRA RANGES LAWYERS C/- INFOTRACK (LEAP) C/-
LANDATA

DOCKLANDS

VENDOR

STOCKLEY, ELEANOR ANNE

PURCHASER

NOT KNOWN, NOT KNOWN

REFERENCE

357560

This certificate is issued for:

LOT 1 PLAN PS307547 ALSO KNOWN AS MORBEY ROAD GEMBROOK
CARDINIA SHIRE

The land is covered by the:

CARDINIA PLANNING SCHEME

The Minister for Planning is the responsible authority issuing the Certificate.

The land:

- is included in a RURAL CONSERVATION ZONE - SCHEDULE 1
- is within a ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 1
- and a BUSHFIRE MANAGEMENT OVERLAY
- and is AREA OUTSIDE THE URBAN GROWTH BOUNDARY

A detailed definition of the applicable Planning Scheme is available at :

<http://planningschemes.dpcd.vic.gov.au/schemes/cardinia>

Historic buildings and land protected under the Heritage Act 1995 are recorded in the Victorian Heritage Register at:

<http://vhd.heritage.vic.gov.au/>

24 October 2023

Sonya Kilkeny
Minister for Planning

Additional site-specific controls may apply.
The Planning Scheme Ordinance should be checked carefully.

The above information includes all amendments to planning scheme maps placed on public exhibition up to the date of issue of this certificate and which are still the subject of active consideration

Copies of Planning Schemes and Amendments can be inspected at the relevant municipal offices.

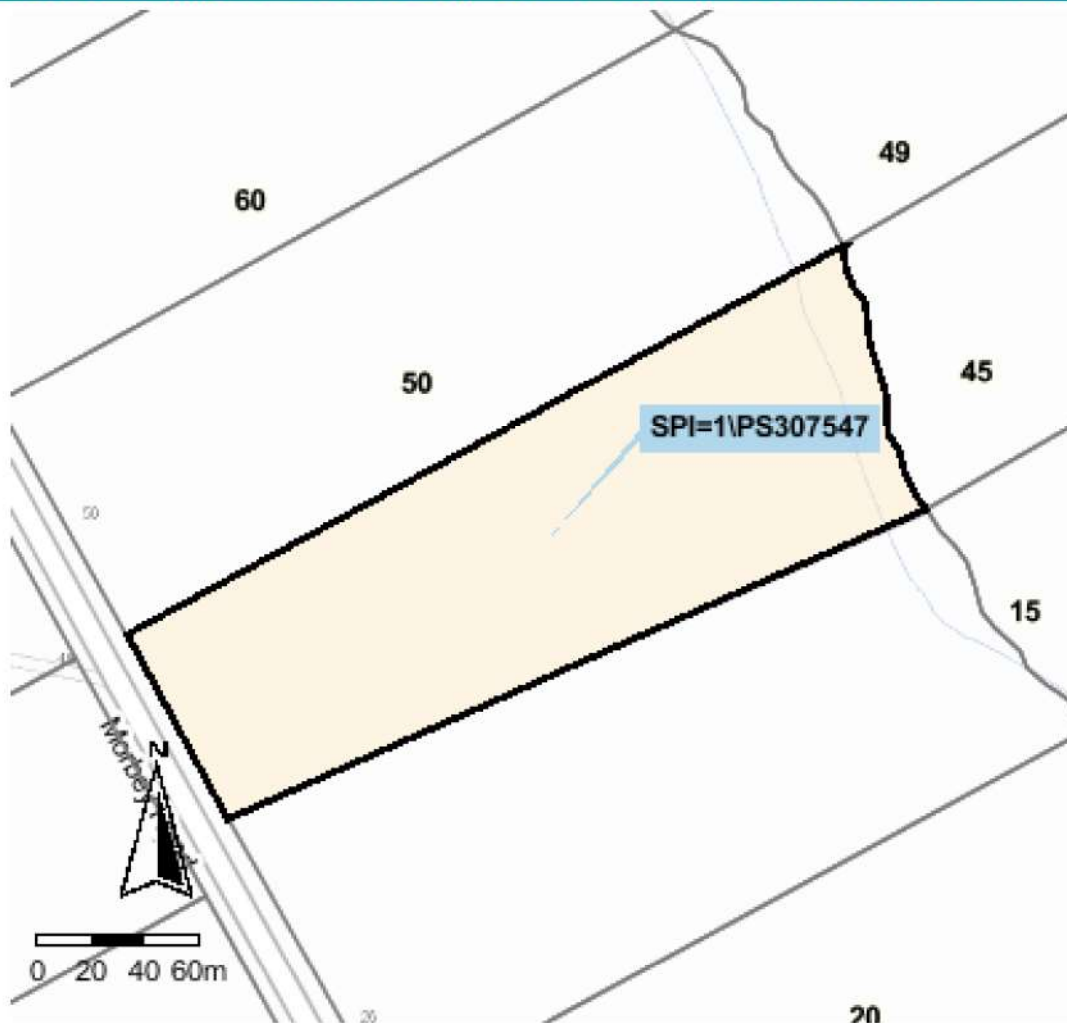
LANDATA®
T: (03) 9102 0402
E: landata.enquiries@servictoria.com.au

The attached certificate is issued by the Minister for Planning of the State of Victoria and is protected by statute.

The document has been issued based on the property information you provided. You should check the map below - it highlights the property identified from your information.

If this property is different to the one expected, you can phone (03) 9102 0402 or email landata.enquiries@servictoria.com.au

Please note: The map is for reference purposes only and does not form part of the certificate.



Copyright © State Government of Victoria. Service provided by maps.land.vic.gov.au

Choose the authoritative Planning Certificate

Why rely on anything less?

As part of your section 32 statement, the authoritative Planning Certificate provides you and / or your customer with the statutory protection of the State of Victoria.

Order online before 4pm to receive your authoritative Planning Certificate the same day, in most cases within the hour. Next business day delivery, if further information is required from you.

Privacy Statement

The information obtained from the applicant and used to produce this certificate was collected solely for the purpose of producing this certificate. The personal information on the certificate has been provided by the applicant and has not been verified by LANDATA®. The property information on the certificate has been verified by LANDATA®. The zoning information on the certificate is protected by statute. The information on the certificate will be retained by LANDATA® for auditing purposes and will not be released to any third party except as required by law.

From www.planning.vic.gov.au at 27 November 2023 10:43 AM

PROPERTY DETAILS

Lot and Plan Number: **Lot 1 PS307547**
 Address: **MORBAY ROAD GEMBROOK 3783**
 Standard Parcel Identifier (SPI): **1\PS307547**
 Local Government Area (Council): **CARDINIA**
 Council Property Number: **2594050350**
 Planning Scheme: **Cardinia**
 Directory Reference: **Melway 299 E9**

www.cardinia.vic.gov.au

[Planning Scheme - Cardinia](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Melbourne Water Retailer: **Yarra Valley Water**
 Melbourne Water: **Inside drainage boundary**
 Power Distributor: **AUSNET**

STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**
 Legislative Assembly: **MONBULK**

OTHER

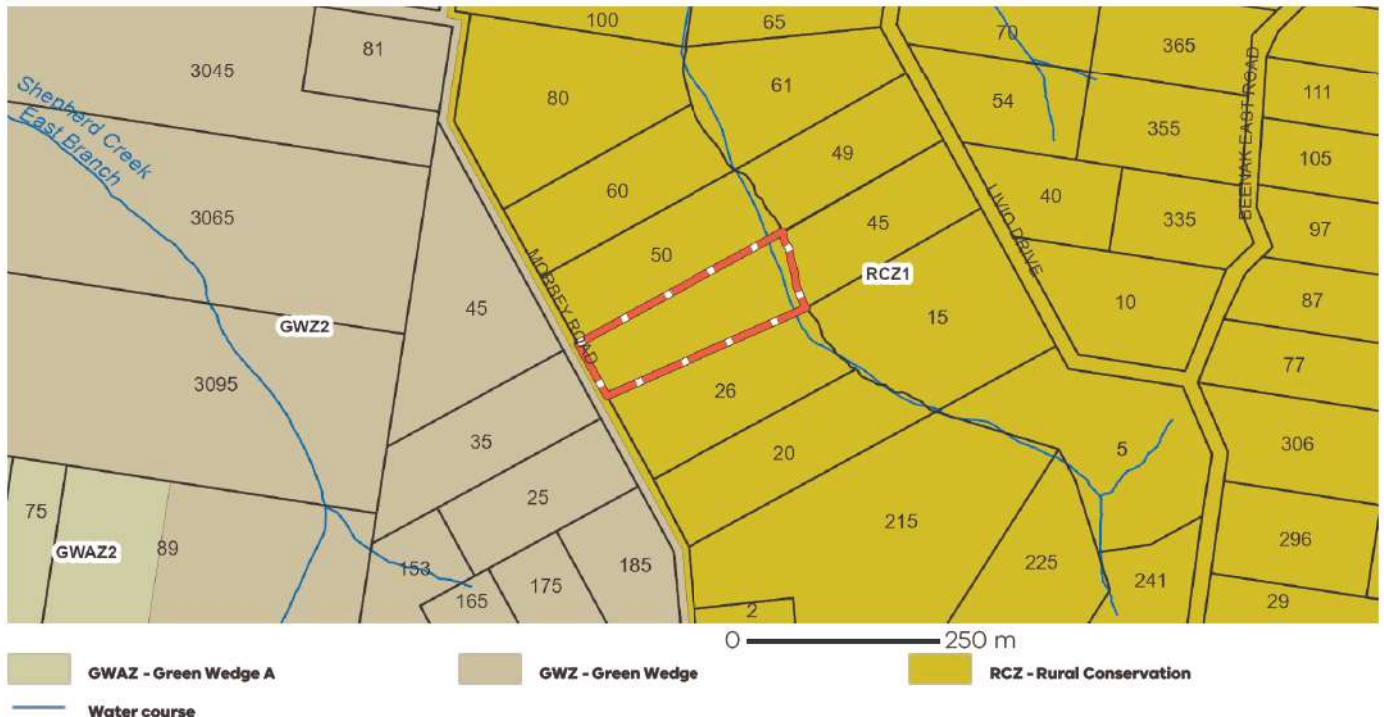
Registered Aboriginal Party: **Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation**

[View location in VicPlan](#)

Planning Zones

[RURAL CONSERVATION ZONE \(RCZ\)](#)

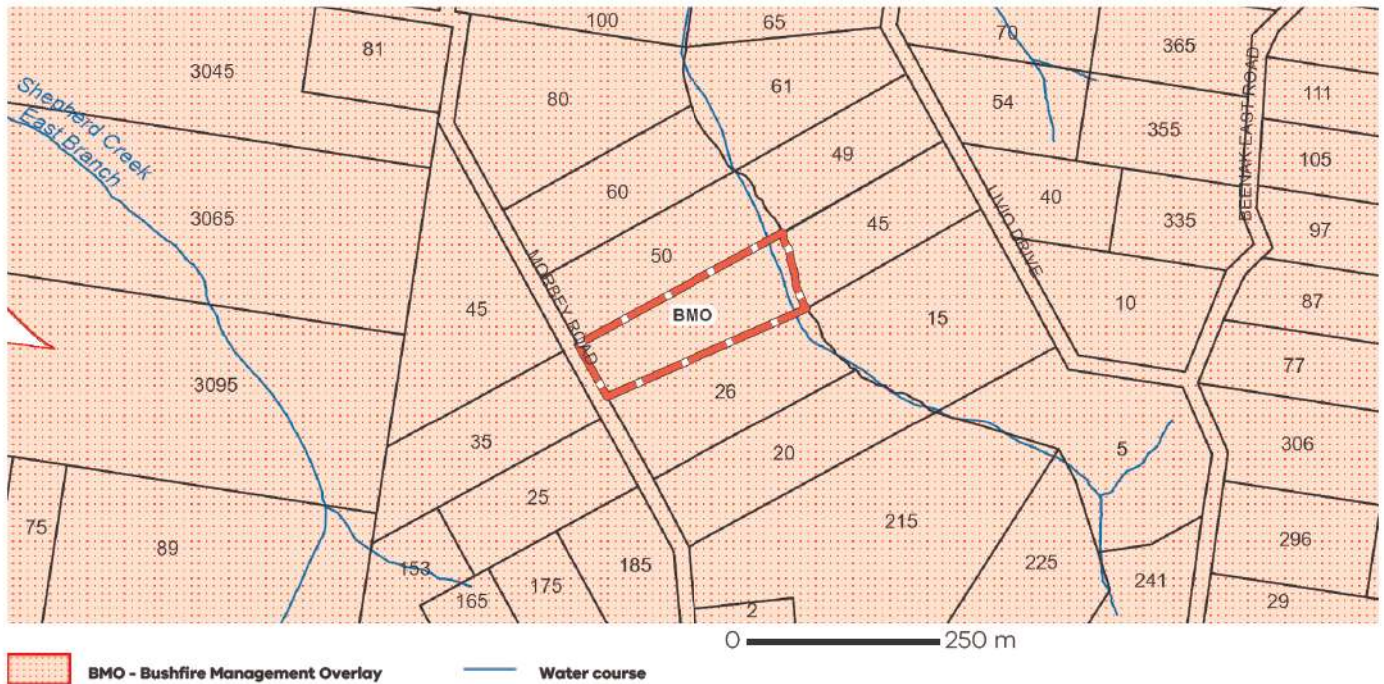
[RURAL CONSERVATION ZONE - SCHEDULE 1 \(RCZ1\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

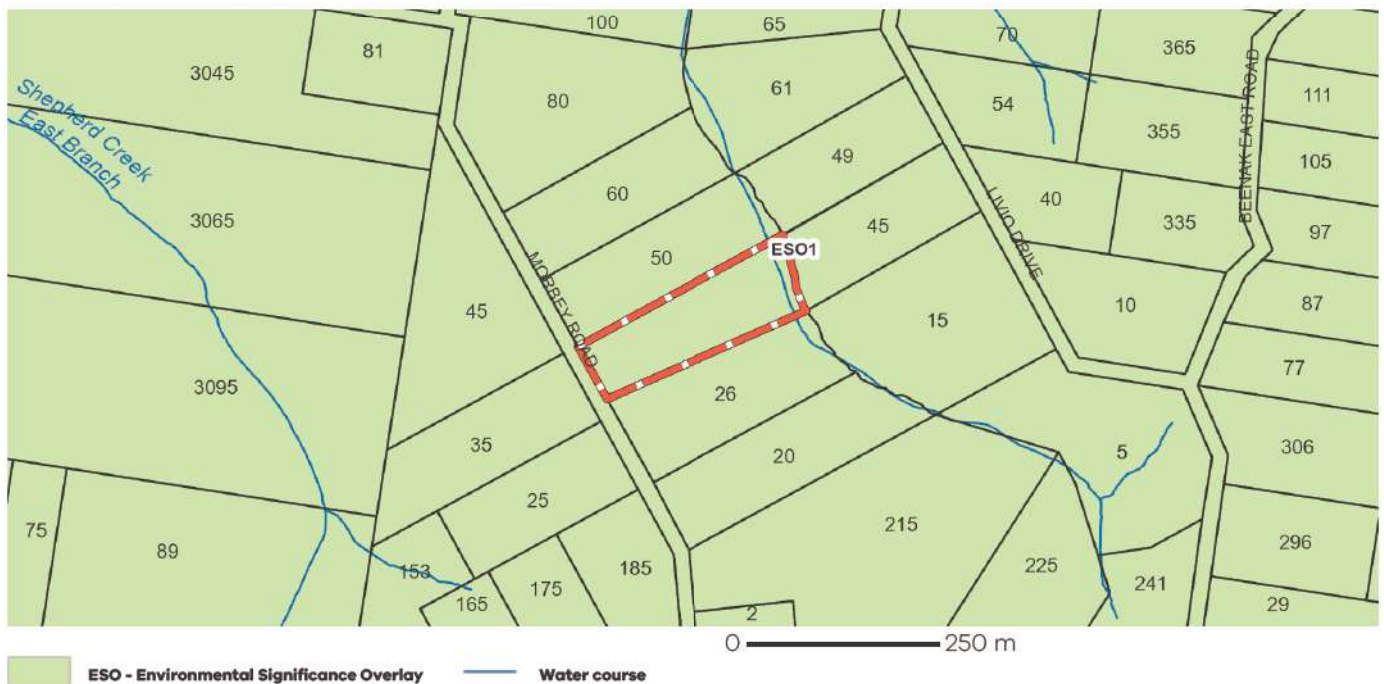
Planning Overlays

BUSHFIRE MANAGEMENT OVERLAY (BMO)



ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)

ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 1 (ESO1)



Planning Overlays

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

HERITAGE OVERLAY (HO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

Further Planning Information

Planning scheme data last updated on 22 November 2023.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

Designated Bushfire Prone Areas

This parcel is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

Native Vegetation

Native plants that are indigenous to the region and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#).

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Information Management system <https://nvim.delwp.vic.gov.au/> and [Native vegetation \(environment.vic.gov.au\)](#) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](#)

24th October 2023

Yarra Ranges Lawyers C/- InfoTrack (LEAP) C/- LAND
LANDATA

Dear Yarra Ranges Lawyers C/- InfoTrack (LEAP) C/- LAND,

RE: Application for Water Information Statement

Property Address:	MORBAY ROAD GEMBROOK 3783
Applicant	Yarra Ranges Lawyers C/- InfoTrack (LEAP) C/- LAND LANDATA
Information Statement	30804044
Conveyancing Account Number	7959580000
Your Reference	357560

Thank you for your recent application for a Water Information Statement (WIS). We are pleased to provide you the WIS for the above property address. This statement includes:

- Yarra Valley Water Property Information Statement
- Melbourne Water Property Information Statement
- Asset Plan
- Rates Certificate

If you have any questions about Yarra Valley Water information provided, please phone us on **1300 304 688** or email us at the address enquiry@yvw.com.au. For further information you can also refer to the Yarra Valley Water website at www.yvw.com.au.

Yours sincerely,



Steve Lennox
GENERAL MANAGER
RETAIL SERVICES

Yarra Valley Water Property Information Statement

Property Address	MORBEY ROAD GEMBROOK 3783
------------------	---------------------------

STATEMENT UNDER SECTION 158 WATER ACT 1989

THE FOLLOWING INFORMATION RELATES TO SECTION 158(3)

Existing sewer mains will be shown on the Asset Plan.

Please note: Unless prior consent has been obtained, the Water Act prohibits:

1. The erection and/or placement of any building, wall, bridge, fence, embankment, filling, material, machinery or other structure over or under any sewer or drain.
2. The connection of any drain or sewer to, or interference with, any sewer, drain or watercourse.

Melbourne Water Property Information Statement

Property Address	MORBEY ROAD GEMBROOK 3783
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STATEMENT UNDER SECTION 158 WATER ACT 1989

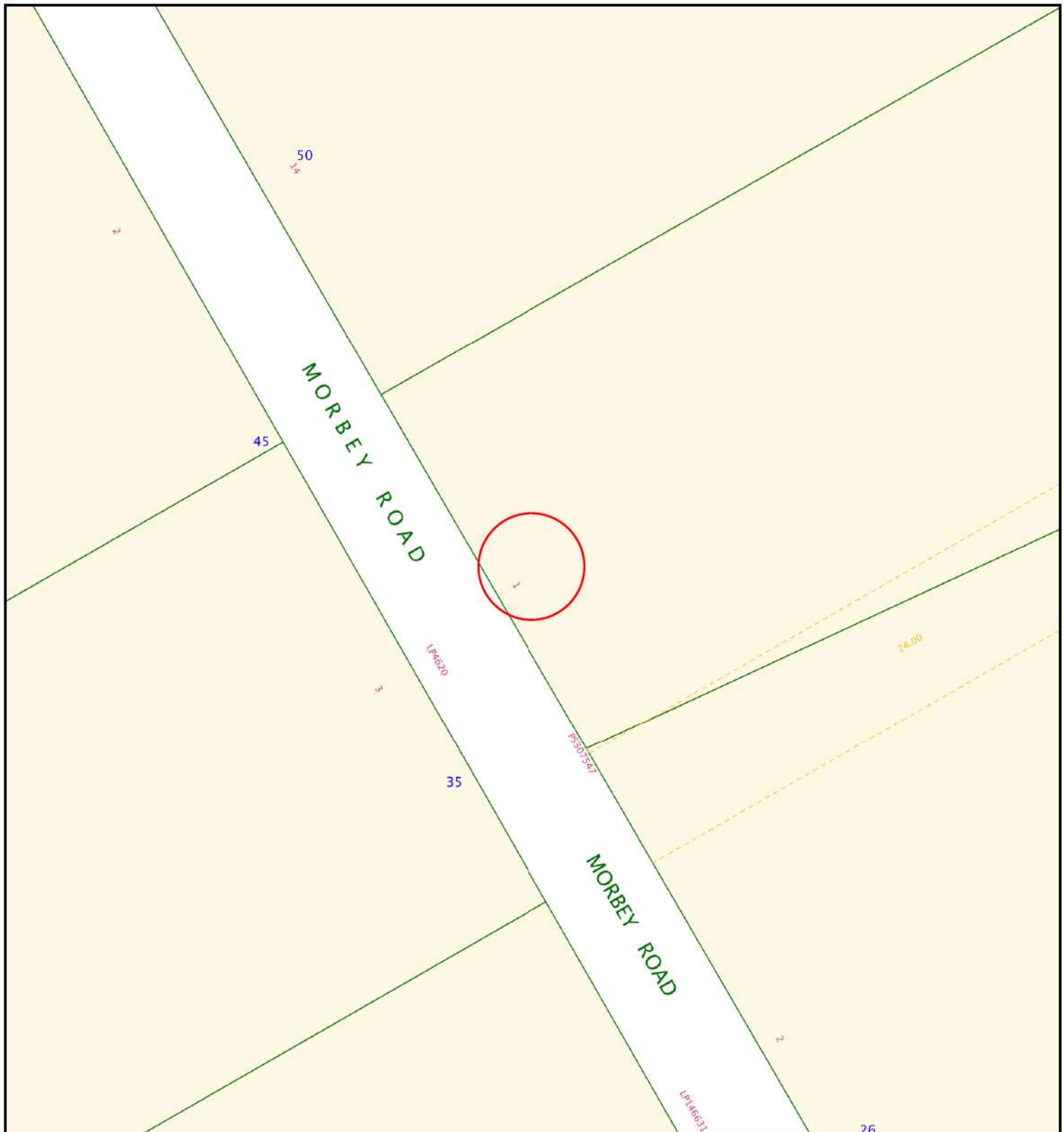
THE FOLLOWING INFORMATION RELATES TO SECTION 158(4)

Information available at Melbourne Water indicates that this property is not subject to flooding from Melbourne Water's drainage system, based on a flood level that has a probability of occurrence of 1% in any one year.

Please note: Unless prior consent has been obtained, the Water Act prohibits:

1. The erection and/or placement of any building, wall, bridge, fence, embankment, filling, material, machinery or other structure over or under any sewer or drain.
2. The connection of any drain or sewer to, or interference with, any sewer, drain or watercourse.

If you have any questions regarding Melbourne Water encumbrances or advisory information, please contact Melbourne Water on 9679 7517.



**Yarra Valley Water
Information Statement
Number: 30804044**

Address	MORBAY ROAD GEMBROOK 3783
Date	24/10/2023
Scale	1:1000



ABN 93 066 902 501

Existing Title	Access Point Number	GLV2-42	MW Drainage Channel Centreline	
Proposed Title	Sewer Manhole		MW Drainage Underground Centreline	
Easement	Sewer Pipe Flow		MW Drainage Manhole	
Existing Sewer	Sewer Offset	<1.00>	MW Drainage Natural Waterway	
Abandoned Sewer	Sewer Branch			

Disclaimer: This information is supplied on the basis Yarra Valley Water Ltd:
 - Does not warrant the accuracy or completeness of the information supplied, including, without limitation, the location of Water and Sewer Assets;
 - Does not accept any liability for loss or damage of any nature, suffered or incurred by the recipient or any other persons relying on this information;
 - Recommends recipients and other persons using this information make their own site investigations and accommodate their works accordingly;

Yarra Ranges Lawyers C/- InfoTrack (LEAP) C/- LAND
LANDATA
certificates@landata.vic.gov.au

RATES CERTIFICATE

Account No: 2450083797
Rate Certificate No: 30804044

Date of Issue: 24/10/2023
Your Ref: 357560

With reference to your request for details regarding:

Property Address	Lot & Plan	Property Number	Property Type
LOT 1, MORBEY RD, GEMBROOK VIC 3783	1\PS307547	1537473	Residential

Agreement Type	Period	Charges	Outstanding
Drainage Fee	01-10-2023 to 31-12-2023	\$16.31	\$16.31

Other Charges:

Interest	No interest applicable at this time		
	No further charges applicable to this property		
	Balance Brought Forward		\$0.00
	Total for This Property		\$16.31



GENERAL MANAGER
RETAIL SERVICES

Note:

- From 1 July 2023, the Parks Fee will be charged quarterly instead of annually.
- From 1 July 2023, for properties that have water and sewer services, the Residential Water and Sewer Usage charge replaces the Residential Water Usage and Residential Sewer Usage charges.
- This statement details all tariffs, charges, and penalties due and payable to Yarra Valley Water as of the date of this statement and includes tariffs and charges (other than for usage charges yet to be billed) which are due and payable to the end of the current financial quarter.
- All outstanding debts are due to be paid to Yarra Valley Water at settlement. Any debts that are unpaid at settlement will carry over onto the purchaser's first quarterly account and follow normal credit and collection activities - pursuant to section 275 of the Water Act 1989.
- If the total due displays a (-\$ cr), this means the account is in credit. Credit amounts will be transferred to the purchaser's account at settlement.
- Yarra Valley Water provides information in this Rates Certificate relating to waterways and drainage as an agent for Melbourne Water and relating to parks as an agent for Parks Victoria - pursuant to section 158 of the Water Act 1989.

7. The charges on this rates certificate are calculated and valid at the date of issue. To obtain up-to-date financial information, please order a Rates Settlement Statement prior to settlement.
8. From 01/07/2023, Residential Water Usage is billed using the following step pricing system: 249.56 cents per kilolitre for the first 44 kilolitres; 318.98 cents per kilolitre for 44-88 kilolitres and 472.56 cents per kilolitre for anything more than 88 kilolitres. From 1 July 2023, this charge is applicable for properties with water service only.
9. From 01/07/2023, Residential Water and Sewer Usage is billed using the following step pricing system: 334.38 cents per kilolitre for the first 44 kilolitres; 438.73 cents per kilolitre for 44-88 kilolitres and 509.73 cents per kilolitre for anything more than 88 kilolitres. From 1 July 2023, this charge is applicable for residential properties with both water and sewer services.
10. From 01/07/2023, Residential Recycled Water Usage is billed 188.71 cents per kilolitre.
11. From 01/07/2022 up to 30/06/2023, Residential Sewer Usage was calculated using the following equation: Water Usage (kl) x Seasonal Factor x Discharge Factor x Price (/kl) 1.1540 per kilolitre. From 1 July 2023, this charge will no longer be applicable for residential customers with both water and sewer services.
12. The property is a serviced property with respect to all the services, for which charges are listed in the Statement of Fees above.

To ensure you accurately adjust the settlement amount, we strongly recommend you book a Special Meter Reading:

- Special Meter Readings ensure that actual water use is adjusted for at settlement.
- Without a Special Meter Reading, there is a risk your client's settlement adjustment may not be correct.



YARRA VALLEY WATER
ABN 93 066 902 501

Lucknow Street
Mitcham Victoria 3132

Private Bag 1
Mitcham Victoria 3132

DX 13204

F (03) 9872 1353

E enquiry@yvw.com.au
yvw.com.au

Property No: 1537473

Address: LOT 1, MORBEY RD, GEMBROOK VIC 3783

Water Information Statement Number: 30804044

HOW TO PAY



Biller Code: 314567
Ref: 24500837970

**Amount
Paid**

**Date
Paid**

**Receipt
Number**

LAND INFORMATION CERTIFICATE
SECTION 121 LOCAL GOVERNMENT ACT 2020
LOCAL GOVERNMENT (LAND INFORMATION)
REGULATIONS 2021



Yarra Ranges Lawyers c/InfoTrack (LEAP) c/Landata
DX 250639
Melbourne

CERTIFICATE NO: 76808
APPLICANT REFERENCE: 70666385-015-9
DATE: 26/10/2023

This certificate PROVIDES information regarding valuations, rates, charges, other moneys owing and any orders and notices made under the Local Government Act 2020, the Local Government Act 1989, the Local Government Act 1958 or under a local law or by law of the Council.

This certificate IS NOT REQUIRED to include information regarding planning, building, health, land fill, land slip, other flooding information or service easements. Information regarding these matters may be available from Council or the relevant Authority.

A fee may be charged for such information.

ASSESSMENT NO:	2594050350	VALUATIONS	
PROPERTY LOCATION:	Morbey Rd	SITE VALUE:	710000
	Gembrook 3783	CAPITAL IMPROVED VALUE:	710000
TITLE DETAILS:	L1 PS307547 V10275 F831	NET ANNUAL VALUE:	35500
		LEVEL OF VALUE DATE:	01/01/23
		OPERATIVE DATE:	01/07/23

PROPERTY RATES & CHARGES

Rates and charges for the financial year ending 30 June 2024

<u>RATES & CHARGES</u>	<u>LEVIED</u>	<u>BALANCE</u>
ARREARS BROUGHT FORWARD		\$0.00
RATES	\$1,479.14	\$1,479.14
INTEREST		\$0.00
MUNICIPAL CHARGE	\$0.00	\$0.00
FIRE SERVICES PROPERTY LEVY	\$157.66	\$157.66

GARBAGE	\$0.00	\$0.00
GREEN WASTE LEVY	\$0.00	\$0.00

SPECIAL RATES /SPECIAL CHARGES

SCHEME NAME	ESTIMATED AMOUNT	PRINCIPAL BALANCE	INTEREST BALANCE
		\$0.00	\$0.00
		TOTAL SCHEME BALANCE	\$0.00

OPEN SPACE CONTRIBUTION

TOTAL OUTSTANDING **\$1,636.80**



Bill code:	858944
Reference:	25940503508

LAND INFORMATION CERTIFICATE
SECTION 121 LOCAL GOVERNMENT ACT 2020
LOCAL GOVERNMENT (LAND INFORMATION)
REGULATIONS 2021

Morbey Rd
Gembrook
L1 PS307547 V10275 F831

NOTICES AND ORDERS

Other Notices or Orders on the land that have been served by Council under the Local Government Act 2020, the Local Government Act 1989, the Local Government Act 1958 or Local Law of the Council, which have a continuing application as at the date of this certificate if any

OPEN SPACE CONTRIBUTION

Any outstanding amount required to be paid for recreational purposes or any transfer of land required to Council for recreational purposes under Section 18 of the Subdivision of Land Act 1988 or the Local Government Act 1958:

FLOOD LEVEL

A flood level has not been designated under the Building Regulations 1994.
Advice on whether a flood level has been determined, which affects the property, should be sought from Melbourne Water.

POTENTIAL LIABILITIES

Notices and Orders issued as described above:

Other:

ADDITIONAL INFORMATION

In accordance with Section 175 of the Local Government Act a person who becomes the owner of rateable land must pay any rate or charge on the land which is due and payable at the time the person becomes the owner of the land.

I acknowledge having received the sum of \$28.90 being the fee for this certificate.

Delegated Officer: 

CONFIRMATION OF ANY VARIATION TO THIS CERTIFICATE WILL ONLY BE GIVEN FOR 90 DAYS AFTER ISSUE DATE.
PAYMENTS MADE BY CHEQUE ARE SUBJECT TO CLEARANCE FROM THE BANK.

Property Clearance Certificate

Land Tax



INFOTRACK / YARRA RANGES LAWYERS

Your Reference:	225926
Certificate No:	67374975
Issue Date:	24 OCT 2023
Enquiries:	ESYSPROD

Land Address: MORBEY ROAD GEMBROOK VIC 3783

Land Id	Lot	Plan	Volume	Folio	Tax Payable
25303970	1	307547	10275	831	\$0.00

Vendor: ELEANOR ANNE STOCKLEY
Purchaser: FOR INFORMATION PURPOSES

Current Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
MS ELEANOR ANNE STOCKLEY	2023	\$675,000	\$1,350.00	\$0.00	\$0.00

Comments: Land Tax of \$1,350.00 has been assessed for 2023, an amount of \$1,350.00 has been paid.

Current Vacant Residential Land Tax	Year	Taxable Value	Proportional Tax	Penalty/Interest	Total
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Comments:

Arrears of Land Tax	Year	Proportional Tax	Penalty/Interest	Total
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This certificate is subject to the notes that appear on the reverse. The applicant should read these notes carefully.

Paul Broderick
Commissioner of State Revenue

CAPITAL IMPROVED VALUE:	\$675,000
SITE VALUE:	\$675,000
CURRENT LAND TAX CHARGE:	\$0.00

Notes to Certificate - Land Tax

Certificate No: 67374975

Power to issue Certificate

1. Pursuant to section 95AA of the *Taxation Administration Act 1997*, the Commissioner of State Revenue must issue a Property Clearance Certificate (Certificate) to an owner, mortgagee or bona fide purchaser of land who makes an application specifying the land for which the Certificate is sought and pays the application fee.

Amount shown on Certificate

2. The Certificate shows any land tax (including Vacant Residential Land Tax, interest and penalty tax) that is due and unpaid on the land described in the Certificate at the date of issue. In addition, it may show:
 - Land tax that has been assessed but is not yet due,
 - Land tax for the current tax year that has not yet been assessed, and
 - Any other information that the Commissioner sees fit to include, such as the amount of land tax applicable to the land on a single holding basis and other debts with respect to the property payable to the Commissioner.

Land tax is a first charge on land

3. Unpaid land tax (including Vacant Residential Land Tax, interest and penalty tax) is a first charge on the land to which it relates. This means it has priority over any other encumbrances on the land, such as a mortgage, and will continue as a charge even if ownership of the land is transferred. Therefore, a purchaser may become liable for any such unpaid land tax.

Information for the purchaser

4. Pursuant to section 96 of the *Land Tax Act 2005*, if a purchaser of the land described in the Certificate has applied for and obtained a certificate, the amount recoverable from the purchaser cannot exceed the amount set out in the certificate, described as the "Current Land Tax Charge" overleaf. A purchaser cannot rely on a Certificate obtained by the vendor.

Information for the vendor

5. Despite the issue of a Certificate, the Commissioner may recover a land tax liability from a vendor, including any amount identified on this Certificate.

General information

6. A Certificate showing no liability for the land does not mean that the land is exempt from land tax. It means that there is nothing to pay at the date of the Certificate.
7. An updated Certificate may be requested free of charge via our website, if:
 - The request is within 90 days of the original Certificate's issue date, and
 - There is no change to the parties involved in the transaction for which the Certificate was originally requested.

For Information Only

LAND TAX CALCULATION BASED ON SINGLE OWNERSHIP

Land Tax = \$1,350.00

Taxable Value = \$675,000

Calculated as \$975 plus (\$675,000 - \$600,000) multiplied by 0.500 cents.

Land Tax - Payment Options

BPAY



Billers Code: 5249
Ref: 67374975

Telephone & Internet Banking - BPAY®

Contact your bank or financial institution to make this payment from your cheque, savings, debit or transaction account.

www.bpay.com.au

CARD



Ref: 67374975

Visa or Mastercard

Pay via our website or phone 13 21 61.
A card payment fee applies.

sro.vic.gov.au/paylandtax

Property Clearance Certificate

Windfall Gains Tax



INFOTRACK / YARRA RANGES LAWYERS

Your Reference: 225926

Certificate No: 67374975

Issue Date: 24 OCT 2023

Land Address: MORBEY ROAD GEMBROOK VIC 3783

Lot	Plan	Volume	Folio
1	307547	10275	831

Vendor: ELEANOR ANNE STOCKLEY

Purchaser: FOR INFORMATION PURPOSES

WGT Property Id	Event ID	Windfall Gains Tax	Deferred Interest	Penalty/Interest	Total
		\$0.00	\$0.00	\$0.00	\$0.00

Comments: No windfall gains tax liability identified.

This certificate is subject to the notes that appear on the reverse. The applicant should read these notes carefully.

Paul Broderick
Commissioner of State Revenue

CURRENT WINDFALL GAINS TAX CHARGE:

\$0.00

Notes to Certificate - Windfall Gains Tax

Certificate No: 67374975

Power to issue Certificate

1. Pursuant to section 95AA of the *Taxation Administration Act 1997*, the Commissioner of State Revenue must issue a Property Clearance Certificate (Certificate) to an owner, mortgagee or bona fide purchaser of land who makes an application specifying the land for which the Certificate is sought and pays the application fee.

Amount shown on Certificate

2. The Certificate shows in respect of the land described in the Certificate:
 - Windfall gains tax that is due and unpaid, including any penalty tax and interest
 - Windfall gains tax that is deferred, including any accrued deferral interest
 - Windfall gains tax that has been assessed but is not yet due
 - Windfall gains tax that has not yet been assessed (i.e. a WGT event has occurred that rezones the land but any windfall gains tax on the land is yet to be assessed)
 - Any other information that the Commissioner sees fit to include such as the amount of interest accruing per day in relation to any deferred windfall gains tax.

Windfall gains tax is a first charge on land

3. Pursuant to section 42 of the *Windfall Gains Tax Act 2021*, windfall gains tax, including any accrued interest on a deferral, is a first charge on the land to which it relates. This means it has priority over any other encumbrances on the land, such as a mortgage, and will continue as a charge even if ownership of the land is transferred. Therefore, a purchaser may become liable for any unpaid windfall gains tax.

Information for the purchaser

4. Pursuant to section 42 of the *Windfall Gains Tax Act 2021*, if a bona fide purchaser for value of land applies for and obtains a Certificate in respect of the land, the maximum amount recoverable from the purchaser is the amount set out in the certificate, described as the "Current Windfall Gains Tax Charge" overleaf.
5. If the certificate states that a windfall gains tax is yet to be assessed, note 4 does not apply.
6. A purchaser cannot rely on a Certificate obtained by the vendor.

Information for the vendor

7. Despite the issue of a Certificate, the Commissioner may recover a windfall gains tax liability from a vendor, including any amount identified on this Certificate.

General information

8. A Certificate showing no liability for the land does not mean that the land is exempt from windfall gains tax. It means that there is nothing to pay at the date of the Certificate.
9. An updated Certificate may be requested free of charge via our website, if:
 - The request is within 90 days of the original Certificate's issue date, and
 - There is no change to the parties involved in the transaction for which the Certificate was originally requested.
10. Where a windfall gains tax liability has been deferred, interest accrues daily on the deferred liability. The deferred interest shown overleaf is the amount of interest accrued to the date of issue of the certificate.

Windfall Gains Tax - Payment Options

BPAY

Biller Code: 416073 Ref: 67374975
Telephone & Internet Banking - BPAY®
Contact your bank or financial institution to make this payment from your cheque, savings, debit or transaction account.
www.bpay.com.au

CARD

Ref: 67374975
Visa or Mastercard
Pay via our website or phone 13 21 61. A card payment fee applies.
sro.vic.gov.au/payment-options

Important payment information
Windfall gains tax payments must be made using only these specific payment references.
Using the incorrect references for the different tax components listed on this property clearance certificate will result in misallocated payments.

Property no.: 2594050350
Enquiries: David Gulenc
Telephone: 1300 787 624
Email: mail@cardinia.vic.gov.au



21 January 2022

Elenor Anne Stockley
Unit 201, 16 Porter Street
PRAHRAN VIC 3181

Dear Sir/Madam,

RE: BUILDING NOTICE
AT: Lot 1, PS307547R, Morbey Road Gembrook Vic 3783 (Building/Land")

I refer to the Dwelling constructed without a building permit.

Included with this letter is a **Building Notice** issued under Section 106 of the *Building Act 1993* ('the Act') for your immediate attention.

What is a Building Notice?

A Building Notice is a "show cause" notice. In simple terms, it requires the property owner to give reasons why the Municipal Building Surveyor should not issue a Building Order requiring the owner to do, or not to do, certain things in respect of the land or building.

Why has a Building Notice been made?

An inspection has been carried out of your property and an opinion has been formed that-

- (a) building work has been carried out on the building, land, or place without a building permit required by this Act, or in contravention of a building permit or this Act or the Building Regulations; and/or
- (b) The use of the building or place contravenes this Act or the Building Regulations; and/or
- (ba) safety or emergency services, installations or equipment have not been maintained in accordance with the occupancy permit and the regulations; and/or
- (c) the building or place is unfit for occupation or for use as a place of public entertainment; and/or
- (d) the building, land or place or building work on the building, land or place is a danger to the life, safety, or health of any member of the public or of any person using the building, land, or place or to any property.

What are you required to do?

The owner should make representations to the Municipal Building Surveyor under Section 109 of the Act in response to the matters specified in the Building Notice. Any representations must be in writing within the prescribed period as listed within the attached Building Notice, including:

1. Letter responding to each item listed within the Building Notice, in Part 1 of the enclosed Notice; and/or,
2. Should you wish to retain the building work, a report from a registered building surveyor stating the matters that comply/fail to comply (and proposed rectification) with the *Building Regulations 2018* ("Regulations") and the Building Code of Australia (BCA). The Municipal Building Surveyor will review the report and determine if an application to retain works without a building permit (available on the Council website) will be accepted or if the works should be removed.

NOTE: Third party representative must have written authorisation from owner(s).

NOTE: Expert opinion may be needed for certain items of a Building Notice and owners may obtain the assistance of consultants.

NOTE: Any private building surveyor engaged as a consultant must not accept subsequent appointment for issuing a building permit etc with respect of that building or building work proposal for twelve (12) months from the engagement (refer Section 79 of the Act).

A Building Notice does not authorise any person to carry out any building work without a building permit where one is required. Carrying out of building work without a required permit constitutes an offence against Section 16 of the Act.

Consideration of Representations

The Municipal Building Surveyor will consider any representations made. The Building Notice may be cancelled or amended on the basis of any representations. If the Building Notice is not cancelled a **Building Order** under Section 111 of the Act may be made which will require that you carry out any work listed.

What If You Do Nothing?

The Municipal Building Surveyor has a statutory obligation to follow up Building Notices in accordance with the level of non-compliance.

The intention of a Building Notice is to commence a conversation between the parties involved. If there is no response (representation), or the response does not adequately address the primary concerns, a Building Order will be made under Section 111 of the Act.

Failure to carry out work required by a Building Order can result in prosecution with fines of up to \$413,050 for a company and \$82,610 for an individual. In addition, a Magistrate Court may make an Order requiring the works to be carried out.

If you wish to discuss this matter further, please do not hesitate to contact of the Council's Building Department during office hours if any of the issues of this letter or attachments require explanation.

Please see enclosed Building Notice.



Form 11
BUILDING ACT 1993, BUILDING REGULATIONS 2018
Regulation 180

BUILDING NOTICE

This building notice is served under section 106 of the **Building Act 1993**

TO: Elenor Anne Stockley ("Owner")
ADDRESS: Unit 201, 16 Porter Street Prahran Vic 3181

LOCATION OF THE BUILDING/LAND TO WHICH THIS NOTICE APPLIES:

Lot 1, PS307547R, Morbey Road Gembrook Vic 3783
“(Building/Land)”

Municipal District: Cardinia Shire Council

FROM:

I am the municipal building surveyor of the Cardinia Shire Council.

I am authorised to cause a building notice to be served on you, as owner of the building/land to which this notice applies, under Division 2 of Part 8 of the **Building Act 1993**.

INSPECTION DETAILS:

The date and time of an inspection relied on by myself as the relevant building surveyor for the purpose of serving this notice, and the name and qualifications of the person or persons who conducted the inspection, are:

Time of inspection: 09:00 am

Date of inspection: 19th January 2022

Name of person: David Gulenc

Qualifications of person: Building Inspector

Building practitioner registration no. of person: BI-L - 69262

REASON(S) WHY THIS NOTICE WAS SERVED:

In accordance with Section 106 of the **Building Act 1993**, I am of the opinion that the following circumstance exists:

1. **Building work carried out without a building permit being issued and in force under Section 16 of the Building Act 1993**
 - 1.1 The following building work has been carried out on the land without a building permit and which does not comply with the regulations, namely;
 - 1.1.1 A Dwelling has been constructed to the south side of the allotment without permit.

A copy of the relevant direction is attached to this notice.

SHOW CAUSE PROCESS:

12. Under section 108 of the **Building Act 1993**, you are required to show cause within 30 days of the date of service of this notice –
 - 12.1 Why you should not carry out the following building work in relation to the above matter;
 - 12.1.1 Demolish/remove the Dwelling.

Specified period for making representations: 30 days

Specified manner for making representations:

The manner for making representations in response to the matters contained in this notice is *in writing* to P.O. Box 7 Pakenham VIC 3810, or via email to mail@cardinia.vic.gov.au before the end of the “show cause” period.

Important: Pursuant to section 228 of the Building Act 1993, I hereby advise you that a member of the Cardinia Shire Council – Municipal Building Surveyors office will conduct an inspection of the building /land on 20th April 2022, or by agreement with the officer.

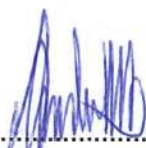
Important Note: A building permit is required for the above item(s).

BUILDING NOTICE SERVED BY:

Relevant Building Surveyor

Name: Peter Truong
Reg. no.: BSU-14098
Address: Cardinia Shire Council
P.O. Box 7, Pakenham VIC 3810
Email: mail@cardinia.vic.gov.au

Building Notice no.: 2022/2594050350



.....
Andrew Webb (BS-U 16415)
Delegate of Municipal Building Surveyor

Date of making: 21 January 2022

NOTES:

1. Representations by Owner and Cancellation of Notice:

Under section 109 of the Act an owner may make representations to the Municipal Building Surveyor about the matters contained in building notice. Any representations are to be made in writing to the Municipal Building Surveyor before the end of the "show cause" period. The Municipal Building Surveyor may cancel a building notice (section 110 of the Act) if he considers it appropriate to do so after considering any representations made under section 109.

2. Building Order:

Subject to section 107 of the Act, the Municipal Building Surveyor may make a building order under section 111 after the end of the time allowed for making representations.

3. Appeals to the Building Appeals Board:

Under section 142(1) an owner of a building or land may appeal to the Building Appeals Board against a decision to serve a notice and, a failure within a reasonable time, or refusal, to cancel a notice. In accordance with Section 146 of the Act and regulation 1601 of the Regulations the prescribed appeal period is 30 days from the date of this notice.

4. Subsequent Owners or Occupiers of the Land

Pursuant to section 236(6) of the Act this Building Notice is binding on every subsequent owner or occupier of the land.

9 October 2022

Eleanor Stockley
201/16 Porter St
Pahran VIC 3181

elliestockleydc@gmail.com

Dear Eleanor,

Application No.: T220049 PA
Property No.: 2594050350
Address: Morbey Road, Gembrook VIC 3783 (L1 PS307547)
Proposal: The use of the land for agriculture (permaculture garden) and the construction of a building associated with the permaculture garden.

I refer to the above planning permit application and wish to advise that a permit has been granted. Please find enclosed your copy of the permit and endorsed plans.

Your attention is drawn to the conditions of the permit. Please read these conditions carefully and check as to whether there are any steps which you need to take prior to commencing the use or the development, including submission of additional plans.

Please be aware that it is your responsibility to ensure that all of the conditions on the permit are complied with and that the permit remains valid. Council does not advise you when the permit will expire.

Please note if the permit relates to a subdivision, a change in street number allocation may occur.

This permit should be kept in a safe place for future reference.

From the 1st July 2022, Council has introduced a fee relating to the endorsement of plans required under a planning permit. The \$180.00 fee is proposed to be charged for Condition 1 plans and any other plans that require endorsement by Council. The \$180.00 fee will not be charged upon the first lodgement of plans but will be charged where required, upon subsequent lodgements.

If you have any further queries regarding this matter, please contact Council's Planning and Design Team on **03 5943 4689** or mail@cardinia.vic.gov.au.

Yours faithfully,



Tim Heffernan
Statutory Planner

PLANNING PERMIT

Form 4

Planning Scheme: Cardinia Planning Scheme
Responsible Authority: Cardinia Shire Council

PLANNING PERMIT NUMBER: T220049

ADDRESS OF THE LAND: L1 PS307547, Morbey Road, Gembrook VIC 3783

THIS PERMIT ALLOWS: The use of the land for agriculture (permaculture garden) and the construction of a building associated with the permaculture garden., generally in accordance with the approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

Use and layout not altered

1. The layout of the uses on the endorsed plans must not be altered without the written consent of the Responsible Authority.
2. The development as shown on the endorsed plan/s must not be altered without the written consent of the Responsible Authority.

Satisfactory completion

3. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority

Visual amenity

4. The exterior colour and cladding of the development must not result in any adverse visual impact on the environment of the area and all external cladding and trim of the building, including the roof, must be of a non-reflective nature to the satisfaction of the Responsible Authority.

Use of building

5. The building may only be used for agricultural activities being carried out on the land and must not be used for human habitation.

Amenity

6. The site must be so ordered and maintained as not to prejudicially affect the amenity of the locality by reason of appearance.
7. External lighting must be designed, baffled and located to the satisfaction of the Responsible Authority to prevent any adverse effect on adjoining land.
8. The development must not detrimentally affect the amenity of the area, through the:
 - a. Transport of materials, goods or commodities to or from the land.
 - b. Appearance of any building works or materials.
 - c. Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, wastewater, waste products, grit or oil.
 - d. Presence of vermin.

Or in any other way, to the satisfaction of the Responsible Authority.

Wastewater

9. Before the development is occupied, all sewage and sullage wastewater from the proposed development must be discharged into a new EPA approved on-site wastewater treatment system to the satisfaction of the Responsible Authority.

Date Issued: 6 October 2022

Signature for the Responsible Authority:



PLANNING PERMIT

Form 4

Planning Scheme: Cardinia Planning Scheme
Responsible Authority: Cardinia Shire Council

PLANNING PERMIT NUMBER: T220049

ADDRESS OF THE LAND: L1 PS307547, Morbey Road, Gembrook VIC 3783

THIS PERMIT ALLOWS: The use of the land for agriculture (permaculture garden) and the construction of a building associated with the permaculture garden., generally in accordance with the approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

10. Before the development is occupied, all sewage and sullage wastewater from the proposed development must be retained within the property boundaries of the subject land to the satisfaction of the Responsible Authority.

Stormwater and drainage

11. Stormwater works must be provided on the subject land so as to prevent overflows onto adjacent properties.
12. All stormwater must be conveyed by means of drains to satisfactory points or areas of discharge approved by the Responsible Authority, so that it will have no detrimental effect on the environment or adjoining property owners.

Site management

13. Earthworks must be undertaken in a manner that minimises soil erosion. Exposed areas of soil must be stabilised to prevent soil erosion. The time for which soil remains exposed and unestablished must be minimised to the satisfaction of the Responsible Authority.
14. Before the development is occupied, provision must be made on the subject land for the storage and collection of garbage and other solid waste. This area must be graded and drained and screened from public view to the satisfaction of the Responsible Authority.

Expiry:

15. A permit for the development and use of land expires if-
- the development does not start within **two (2) years** after the issue of the permit; or
 - the development is not completed within **four (4) years** after the issue of the permit; or
 - the use does not start within **two (2) years** after the completion of the development; or
 - the use is discontinued for a period of **two (2) years**.

In accordance with Section 69 of the *Planning and Environment Act 1987*, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

Notes:

- A planning permit is not required under the Bushfire Management Overlay for buildings and works associated with the use of the land for agriculture.
- No removal of trees is required associated with the agricultural outbuilding.
- A Building Permit may be required before the development commences. For more information, contact Council's Building Department or a Registered Building Surveyor.
- This Planning Permit does not represent the approval of other departments of Cardinia Shire Council or other authorities.
- The building has been assessed on the basis it is associated with the use of the land with Agriculture.

Date Issued: 6 October 2022

Signature for the Responsible Authority:



PLANNING PERMIT

Form 4

Planning Scheme: Cardinia Planning Scheme
Responsible Authority: Cardinia Shire Council

PLANNING PERMIT NUMBER: T220049

ADDRESS OF THE LAND: L1 PS307547, Morbey Road, Gembrook VIC 3783

THIS PERMIT ALLOWS: The use of the land for agriculture (permaculture garden) and the construction of a building associated with the permaculture garden., generally in accordance with the approved plans

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

- Approval from Council's Health Department is required prior to the installation or alteration of an onsite wastewater treatment system.

Date Issued: 6 October 2022

Signature for the Responsible Authority:



IMPORTANT INFORMATION ABOUT THIS NOTICE

WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 of Part 4 of the *Planning and Environment Act 1987*.)

WHEN DOES A PERMIT BEGIN?

A PERMIT OPERATES:

- a) From the date specified in the permit, or
- b) If no date is specified; from:
 - i. The date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
 - ii. The date on which it was issued, in any other case.

WHEN DOES A PERMIT EXPIRE?

A PERMIT FOR THE DEVELOPMENT OF LAND EXPIRES IF:

- a) The development or any stage of it does not start within the time specified in the permit, or
- b) The development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act 1988* and the plan is not certified within two (2) years of the issue of the permit, unless the permit contains a different provision, or
- c) The development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit or in case of a subdivision or consolidation within five (5) years of the certification of the certification of the plan of subdivision or consolidation under the *Subdivision Act 1988*.

A PERMIT FOR THE USE OF LAND EXPIRES IF:

- a) The use does not start within the time specified in the permit, or if no time is specified, within two (2) years of the issue of within two years after the issue of the permit; or
- b) The use is discontinued for a period of two (2) years.

A PERMIT FOR THE DEVELOPMENT AND USE OF THE LAND EXPIRES IF:

- a) The development or any stage of it does not start within the time specified in the permit, or
- b) The development or any stage of it is not completed within the time specified in the permit, or if no time is specified within two years after the issue of the permit.
- c) The use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
- d) The use is discontinued for a period of two (2) years.

If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the *Planning and Environment Act 1987*, or to any combination of use, development or any of those circumstances requires the certification of a plan under the *Subdivision Act 1988*, unless the permit contains a different provision:

- a) The use or development of any stage is to be taken to have started when the
- b) Plan is certified; and
- c) The permit expires if the plan is not certified within two years of the issue of the permit.

The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

WHAT ABOUT APPEALS?

The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of review exists.

An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.

An application for review is lodged with the Victorian Civil and Administrative Tribunal.

An application for review must be made on the relevant form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.

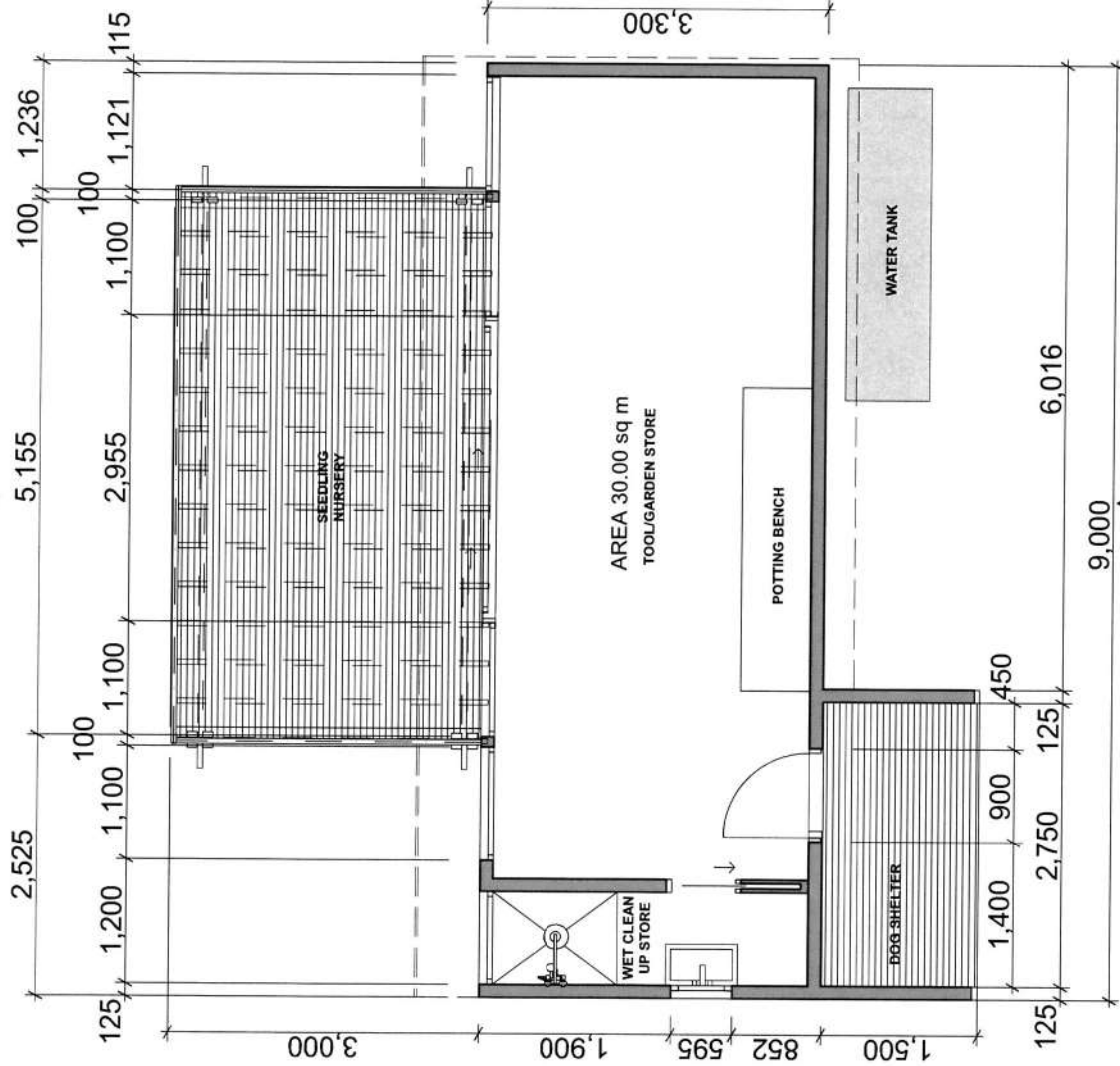
An application for review must state the grounds upon which it is based.

An application for review must also be served on the Responsible Authority.

Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal

Victoria Civil and Administrative Tribunal, Planning List
55 King Street, MELBOURNE VIC 3000
Ph (03) 9628 9777 Fax: (03) 9628 9789

North Elevation



East Elevation

West Elevation

APPROVED PLAN
 PLANNING AND ENVIRONMENT ACT 1987
 CARDINA PLANNING SCHEME
 Permit No: T220049
 Sheet: 1 of 6
 Approved by: Timothy Heffernan
 CARDINA SHIRE COUNCIL
 Date: Thursday, 6 October 2022

RMD

RM DESIGNS

Stockley_Morbey 1
 28 Morbey Road, Gembrook

Drawing Name
Ground Floor

Drawing Status
PLANNING RFI

Modified by
 RM

Drawing Scale
1:50

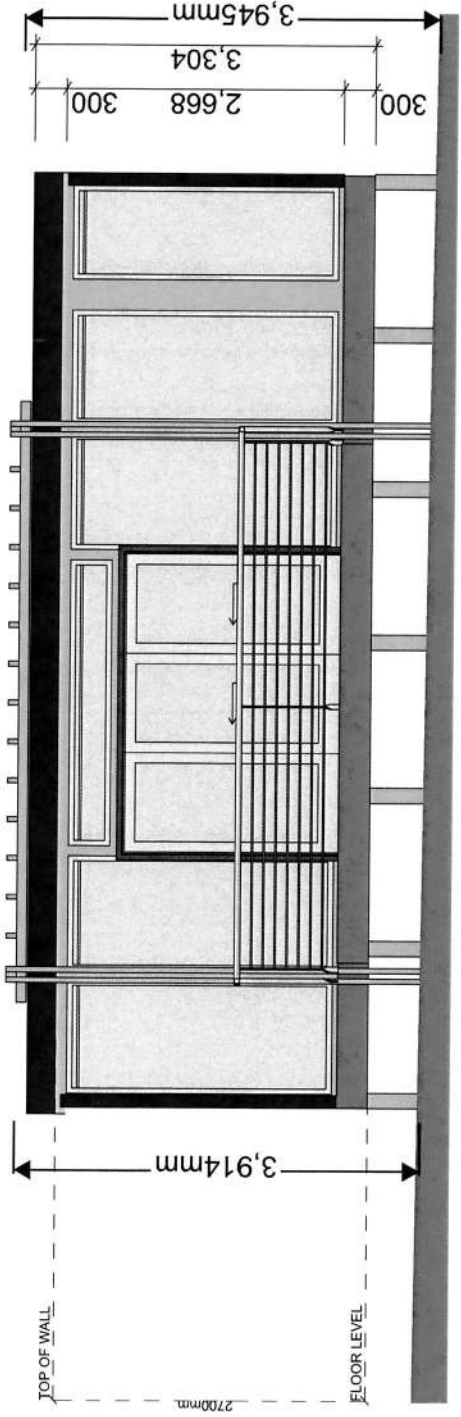
Layout ID
A.01.1

Revision
01

- ALL GLASS - DOUBLE GLAZED CLEAR
- DECKING TIMBER & CANOPY - MERBAU TIMBER
- ALL CLADDING & ROOFING - NIGHT SKY (BLACK) COLORBOND CLADDING

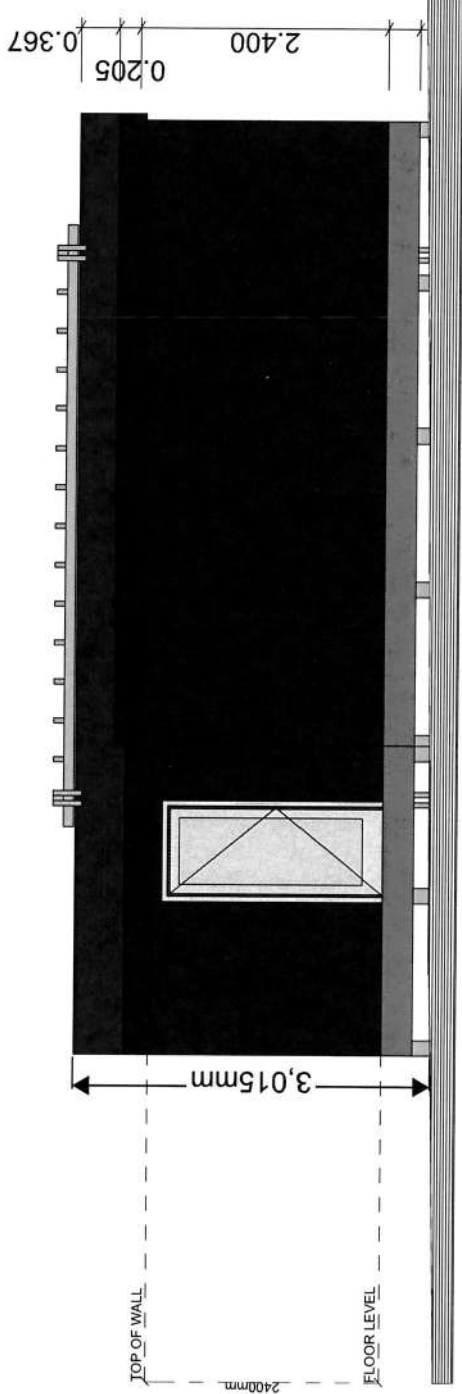


APPROVED PLAN
 PLANNING AND ENVIRONMENT ACT 1987
 CARDINA PLANNING SCHEME
 Permit No. T220049
 Sheet 2 of 6
 Approved by Timothy Heffernan
 CARDINA SHIRE COUNCIL
 Date Thursday, 6 October 2022



North Elevation

1:50



South Elevation

1:50

RMD

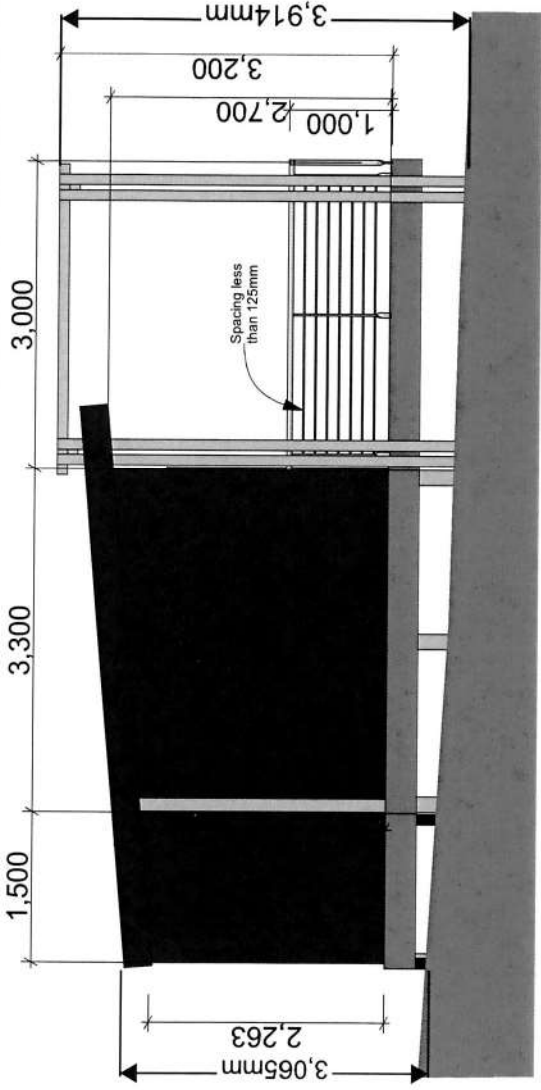
RM DESIGNS

Stockley_Morbey 1
 28 Morbey Road, Gembrook

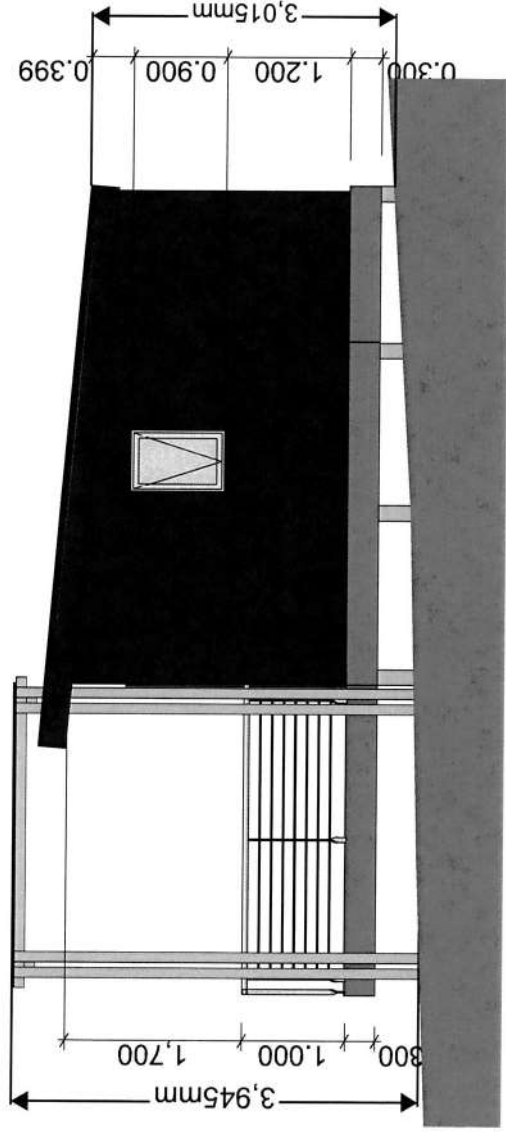
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North Elevation, South Elevation
 Drawing Status
PLANNING RFI
 Modified by
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Drawing Scale
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Layout ID
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 Revision
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East Elevation 1:50



West Elevation 1:50

ALL GLASS - DOUBLE GLAZED CLEAR

DECKING TIMBER & CANOPY - MERBAU TIMBER

ALL CLADDING & ROOFING - NIGHT SKY (BLACK) COLORBOND CLADDING



APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME
Permit No. T220049
Sheet 3 of 6
Approved by: Timothy Helfeman
CARDINIA SHIRE COUNCIL
Date: Thursday, 6 October 2022

RMD

RM DESIGNS

Stockley_Morbey 1
28 Morbey Road, Gembrook

Drawing Name

East Elevation, West Elevation

Drawing Status

PLANNING RFI

Modified by

RM

Drawing Scale

1:50

Layout ID

A.01.2.2

Revision

01



PERMACULTURE GARDEN BEDS AND FOOD FOREST - No structure (retaining walls or earth works) required.

APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1988
CARDINIA PLANNING SCHEME

Permit No: T220049
Sheet 4 of 8
Approved by: Timothy Heffernan
CARDINIA SHIRE COUNCIL
Date: Thursday, 6 October 2022

No. 28 MORBEY ROAD
GEM BROOK 3783
LOT 1 on P5307547R
FEATURE & LEVEL SURVEY

DRAWING INFORMATION		APPROVALS	
NO.	DESCRIPTION	DATE	DATE
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2	PLANNING REVISION	09/05/2022	
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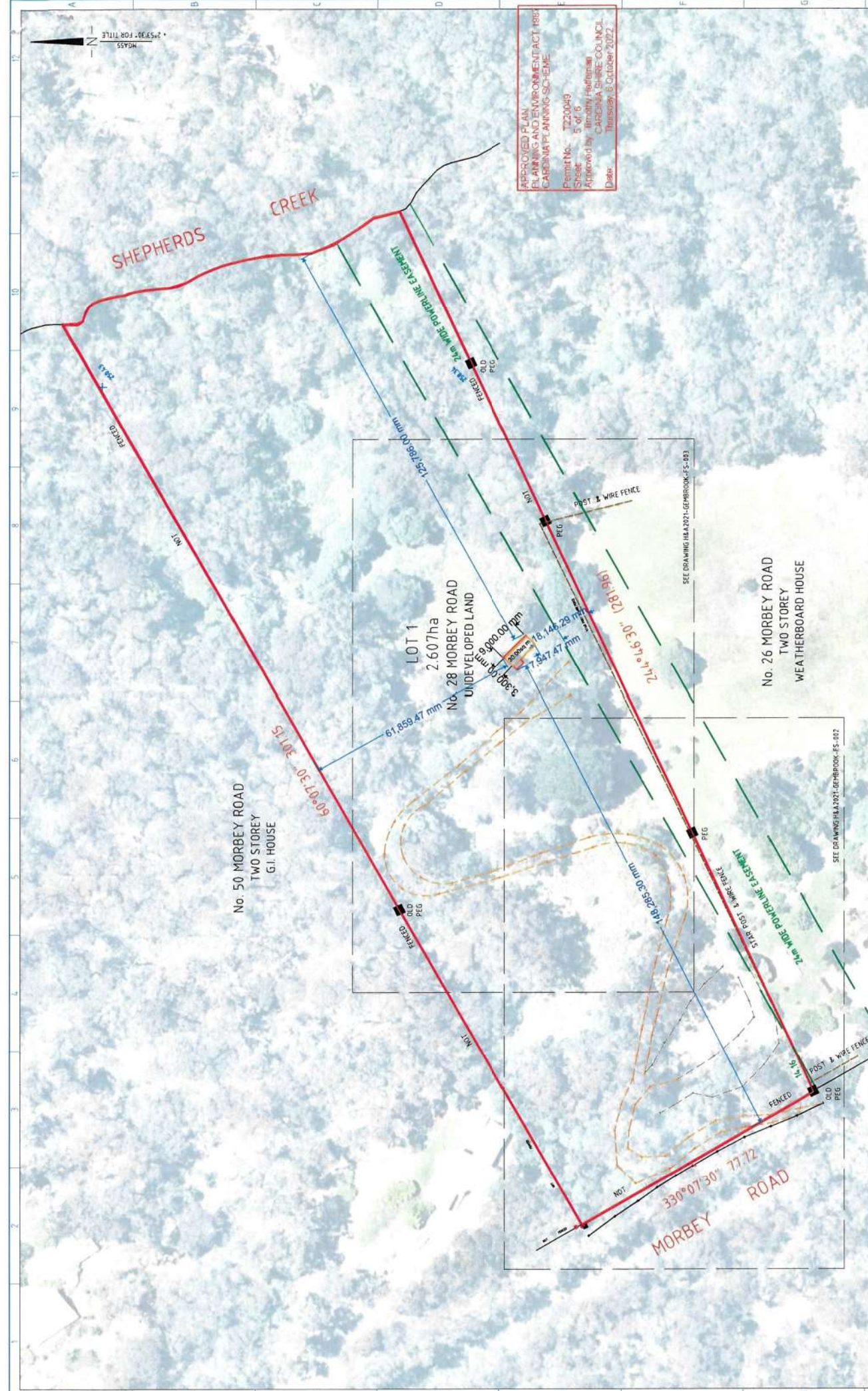
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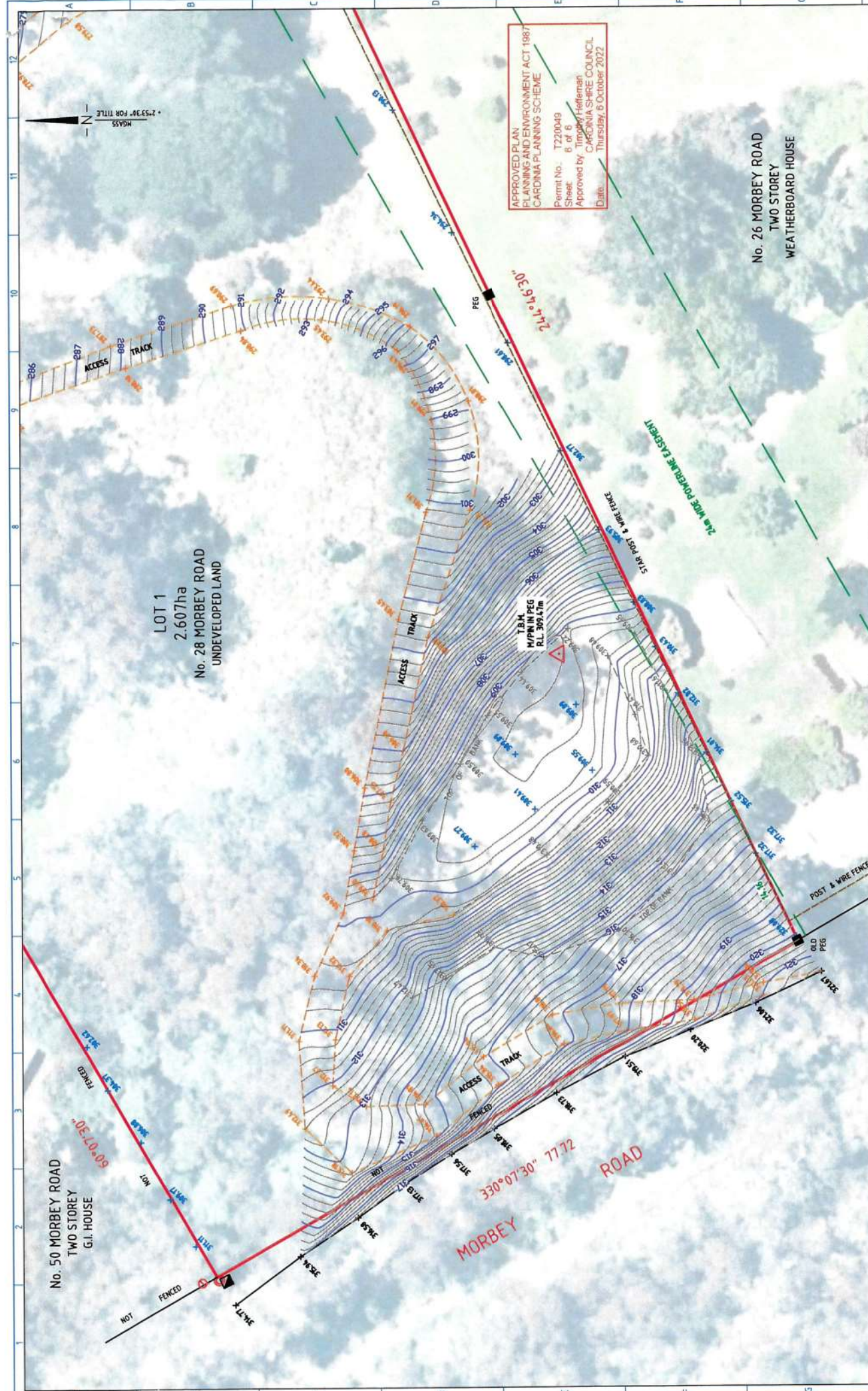
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HEADING & ASSOCIATES ENGINEERING SURVEYORS, COMPUTER AID DRAFTING CONSTRUCTION SURVEYS - CIVIL & STRUCTURAL TELEPHONE (08) 938 9339 FACSIMILE (08) 9376 4831 MOBILE +61 412 372 425 EMAIL: enquires@headingsassociates.com.au		NOTES - ALL MEASUREMENTS ARE IN METRES - HORIZONTAL DATUM: MEAN SEA LEVEL - VERTICAL DATUM: AUSTRALIAN HEIGHT DATUM VIDE GEMBR00K PM 189 RL 25.14m & GEMBR00K PM 188 RL 337.15m - CONTOUR INTERVAL: 0.25m - HORIZONTAL SURVEY ACCURACY: ± 0.1m - CONTOUR SURVEY ACCURACY: ± 0.2m		PLANNING BRIEF ISSUE INITIAL ISSUE 09/07/2021 DATE		APPROVALS P. BERUJU NAME SIGNATURE X XXXXXXX NAME SIGNATURE		HEADING & ASSOCIATES DOES NOT WARRANT THAT THIS PLAN IS DEPENDING ON THE ACCURACY OF THE DATA PROVIDED AND DOES NOT ACCEPT LIABILITY FOR ANY ERRORS OR OMISSIONS OR ARISING FROM RELIANCE UPON INFORMATION PROVIDED HEREIN. CONTRACTORS ARE TO LIASE WITH ALL SERVICING AUTHORITIES TO DETERMINE THE LOCATION OF ANY SERVICES PRIOR TO ANY EXCAVATION WORKS. THERE IS NO GUARANTEE THAT ALL EXISTING SERVICES ARE SHOWN.		NO. 28 MORBEY ROAD GEMBR00K 3783. LOT 1 on PS307547R FEATURE & LEVEL SURVEY		DRAWING NO. H8A2021-GEMBR00K-FLS-001 REVISION 1	
DRAWING SCALE 1:1000 ORIG. SIZE A3 SHEET NO. 1 OF 3		APPROVED PLAN PLANNING AND ENVIRONMENT ACT 1987 CARDINAL PLANNING SCHEME Project No: T2200419 Sheet: 5 of 6 Approved by: Community Infrastructure CAROLINA SHUTE COUNCIL Date: Thursday, 6 October 2022		TITLE No. 28 MORBEY ROAD GEMBR00K 3783. LOT 1 on PS307547R FEATURE & LEVEL SURVEY		DRAWING NO. H8A2021-GEMBR00K-FLS-001 REVISION 1							



APPROVED PLAN
 PLANNING AND ENVIRONMENT ACT 1987
 CARDINIA PLANNING SCHEME
 Permit No. T220049
 Sheet 6 of 6
 Approved by: Timothy Heffernan
 CARDINIA SHIRE COUNCIL
 Date: Thursday, 6 October 2022

No. 26 MORBEY ROAD
 TWO STOREY
 WEATHERBOARD HOUSE

LOT 1
 2.607ha
 No. 28 MORBEY ROAD
 UNDEVELOPED LAND

No. 50 MORBEY ROAD
 TWO STOREY
 G.I. HOUSE

<p>HEADING & ASSOCIATES DOES NOT WARRANT THAT THIS PLAN IS FOR ANY LOSS CAUSED OR ARISING FROM RELIANCE UPON INFORMATION PROVIDED HEREIN. CONTRACTORS ARE TO LIASE WITH ALL SERVING AUTHORITIES TO OBTAIN THE LOCATION OF ANY SERVICES PRIOR TO ANY EXCAVATION ON THE SITE. THERE IS NO GUARANTEE THAT ALL SERVING SERVICES ARE SHOWN.</p>		<p>TITLE No. 28 MORBEY ROAD GEMBROOK, 3783. LOT 1 on PS307547R FEATURE & LEVEL SURVEY</p>	
<p>DRAWING No. H8A2021-GEMBROOK-FLS-002</p>	<p>REVISION 0</p>	<p>DRIVING SCALE 1:4.00</p>	<p>OBJ. SIZE A3</p>
<p>SHEET No. 1 OF 1</p>	<p>APPROVALS</p>	<p>DATE 09/05/2022</p>	
<p>NAME SIGNATURE</p>	<p>NAME SIGNATURE</p>	<p>NAME SIGNATURE</p>	<p>NAME SIGNATURE</p>
<p>DATE</p>	<p>DATE</p>	<p>DATE</p>	<p>DATE</p>
<p>REV. NO.</p>	<p>REV. APP'D</p>	<p>REV. NO.</p>	<p>REV. APP'D</p>
<p>INITIAL ISSUE DESCRIPTION</p>	<p>INITIAL ISSUE DESCRIPTION</p>	<p>INITIAL ISSUE DESCRIPTION</p>	<p>INITIAL ISSUE DESCRIPTION</p>
<p>NOTES</p>	<p>NOTES</p>	<p>NOTES</p>	<p>NOTES</p>
<p>HEADING & ASSOCIATES ENGINEERING SURVEYORS, COMPUTER CAD DRAFTING CONSTRUCTION SURVEYS - CIVIL & STRUCTURAL TELEPHONE (03) 996 9199 / FACSIMILE (03) 9376 4831 MOBILE: 04 8420 337 665 EMAIL: enquiry@headingassociates.com.au</p>	<p>NOTES - ALL MEASUREMENTS ARE IN METRES - HORIZONTAL DATUM: MOGA, ZONE 55 VIDE GNSS - VERTICAL DATUM: AUSTRALIAN HEIGHT DATUM VIDE GEMBROOK PM 89 RLL 254.816 & GEMBROOK PM 188 RLL 337.159m - CONTOUR INTERVAL: 0.25m - HORIZONTAL SURVEY ACCURACY: ± 8.0m - CONTOUR INTERVAL: 0.25m</p>	<p>NOTES</p>	<p>NOTES</p>

RESIWISE PTY LTD

BUILDING PERMIT

Building Permit

ISSUED BY: 071100423
NUMBER CBS-L 57031-7880913183835
Form 2 Building Act 1993 Building Regulations 2018 – Regulation 37(1)

RELEVANT BUILDING SURVEYOR

Resiwise Pty Ltd

Permit No: CBS-L 57031 7880913183835



Issued To - AGENT

Name: Ellie Stockley
ACN:
Postal Address: 201/16 Porter Street PRAHRAN, VIC 3181
Email: elliestockleydc@gmail.com

Address for Serving or Giving of Documents

Address: 201/16 Porter Street PRAHRAN VIC 3181
Contact Person: Ellie Stockley
Phone:

Ownership Details

Name: Ellie Stockley
ACN:
Postal Address: 201/16 Porter Street PRAHRAN, VIC 3181
Email: rjmcglade@gmail.com
Contact Person: Ellie Stockley
Phone: 0401 062 423

Property Details

Address: Lot (1) 28 Morbey Road GEMBROOK VIC 3783
Title Details: LP/PS: 307547R, Vol: 10275, Folio: 831
Municipal District: Cardinia Shire Council

Builder

Name: Ellie Stockley
Phone: 0401 062 423
ACN:
Registration No.
Postal Address: 201/16 Porter Street PRAHRAN, VIC 3181

Building Practitioner or Architect Engaged to Prepare Documents for this Permit

Name	Category/Class	Registration No.
Constantinos Vayenas	Professional Engineer	PE 0003180
Kyle Davidson	Draftsperson - Architectural	DP-AD 62580

Details of Relevant Planning Permit

Planning permit No.: T220049PA
Date of grant of planning permit: 9/10/2022

T: (13) 0076-4186 • E: office@resiwise.com.au
PO BOX 610 MENTONE VIC 3194
<https://www.resiwise.com.au>

POWERED BY - PERMIT PRO  BETTER BUILT SOFTWARE

RESIWISE PTY LTD

Nature of Building Work

Completion of Farm Building (Agricultural Building) Class 7b

BUILDING PERMIT

ISSUED 17/10/2024
NUMBER CBS-L 57024-7880816183835

RELEVANT BUILDING CODES
Resiwise Pty Ltd
CBS-L57024

Stores contained:	1
Rise in storeys:	0
Effective height:	0.0
Type of construction:	C
Version of BCA applicable to Permit:	BCA 2019 Volume 1 Amendment 1
Stage of building work permitted:	As shown on the approved plans
Total floor area of new building work in m2:	50.2
Cost of building work (this stage):	\$22,500
Cost of building work (all stages):	\$22,500

Building Classification

Nature of Work	Part of Building	BCA Classification
Completion of	Farm Building (Agricultural Building) Class 7b	7b

Performance Solutions

A performance solution was used to determine compliance with the following performance requirements of the BCA that relate to the building to which this permit applies:

No	Relevant Performance Requirement	Details of Performance Solution
1	BP1.1 - Structural Reliability	General Floor Loadings 3kpa in lieu of 5kpa nominated by AS1170.1 Private Balcony Loadings 3kpa in lieu of 5kpa nominated by AS1170.1

Prescribed Reporting Authorities

The following bodies are prescribed reporting authorities for the purposes of the application for this permit in relation to the matters set out below.

Reporting Authority	Matter Reported On or Consented To	Regulation No.
Council	Installation or alteration of a septic tank system, or construction of a building over an existing septic tank system	reg. 132(1)

Protection Work

Protection work is not required in relation to the building work proposed in this permit.

Inspection Requirements

The mandatory notification stages are -

- Final

Occupation or Use of Building

A Certificate of Final Inspection is required prior to the occupation or use of this building.

If an occupancy permit is required, the permit is required for the whole of the building in relation to which the building work is carried out.

Commencement and Completion

This building work must commence by 17/10/2024.

RESIWISE PTY LTD

If the building work to which this building permit applies is not commenced by this date, this building permit will lapse unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.

BUILDING PERMIT

This building work must be completed by 17/10/2026.

NUMBER CBS-L 57031-7880913183835

RELEVANT BUILDING SURVEYOR

If the building work to which this building permit applies is not completed by this date, this building permit will lapse unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.

Permit Conditions

This building permit is subject to the following conditions –

No	Condition
1	The owner, agent of the owner, and builder shall ensure that all building work is constructed in strict accordance with the town planning permit and endorsed drawings. All town planning conditions must be met by the owner, agent of the owner, and the builder to the satisfaction of the responsible authority. All finished floor levels and overall wall heights must be constructed in accordance with the endorsed town planning drawings. The owner, agent of the owner, and the builder must ensure strict compliance with the specified levels and wall heights. A registered land surveyor may be engaged to determine precise finished floor level at the request of council. Resiwise Pty Ltd bears no responsibility for incorrect finished floor levels or non-compliance with the town planning permit conditions or endorsed documents.
2	Location, spacing and capacity of downpipes must comply with BCA 3.5.2 (maximum 12m spacing and within 1.2m of valleys) and discharge of stormwater to a point as approved by the local council that will not have any adverse effect on the building foundations.
3	All existing title boundary fences must remain erected throughout the duration of construction / demolition unless the adjoining property owners provide written consent for their removal. No fencing is to be removed without prior permission from adjoining neighbours.
4	Driveways and paving do not form part of this building permit as they are an unclassifiable structure under the NCC, it is the responsibility of the builder/owner to ensure that the works are carried out in a compliant and competent manner.
5	Stormwater is to be taken to the legal point of discharge, being the council nominated point.
6	Please note that it is the owner's responsibility to ensure compliance with any covenants, encumbrances OR 173 agreements contained within the title.
7	The work must be carried out strictly in conformity with the endorsed plans and specifications, one copy of which must be kept on site and made available for inspection while the work is in progress.
8	There must be no unauthorised encroachment of any part of the work beyond the building alignment.
9	Any building work done pursuant to this building permit shall comply with the Building Act 1993 and the Building Regulations 2018 and with any conditions or requirements imposed in accordance with the Act or Regulations.
10	This building is not to be used for dwelling/domestic purposes.

Relevant Building Surveyor

Name: Resiwise Pty Ltd
ACN: 155 357 109
Address: PO BOX 610 MENTONE VIC 3194
Email: office@resiwise.com.au
Building practitioner registration no.: CBS-L 57031

Permit No.: CBS-L 57031
7880913183835
Date of Issue of Permit: 17/10/2023

Signature:

Designated Building Surveyor

Name: Daniel Cullen
Building practitioner registration no.: BS-L 44390



RESIWISE PTY LTD

TERMS OF ENGAGEMENT

1. PRIVATE BUILDING SURVEYOR FUNCTIONS

1.1 The Private Building Surveyor Functions include, as relevant for the project:

- 1.1.1 Assessing the building permit application
- 1.1.2 Arranging payment of the building levy to the Victorian Building Authority

1.1.3 The issuing of a building permit

1.1.4 The carrying out of building inspections under Part 4 of the Act

1.1.5 The issuing of an occupancy permit under Part 5 of the Act

1.2 The Private Building Surveyor Functions exclude:

- 1.2.1 Preparation of the design of the project
- 1.2.2 Matters pertaining to building quality
- 1.2.3 Any guarantee by the Building Surveyor that the project will be granted a building permit or occupancy permit or that it will be considered compliant in any inspections undertaken

1.2.4 Any act or activity deemed by the Building Surveyor to be contrary to the requirements of the Act, the Building Regulations 2018, or the National Construction Code, as relevant

1.3 The Client acknowledges that the Building Surveyor is subject to the requirements of the Act. As a result, the Client understands that the Building Surveyor may be required to refuse the Client's application or otherwise not grant a permit sought by the Client

1.4 The Client acknowledges that the building Surveyor may engage in any other business, occupation or activity during the Term, provided that does not detrimentally affect the performance of the Private Building Surveyor Functions

1.5 If the Client engages another person to provide services substantially the same as the Private Building Surveyor Functions in respect of the Project, then the Building Surveyor may terminate this agreement

1.6 The Client acknowledges and agrees that they accept the terms and conditions contained in this agreement

2 DELIVERY OF THE PRIVATE BUILDING SURVEYOR FUNCTIONS

2.1 The delivery of the Private Building Surveyor Functions will occur when any Private Building Surveyor Functions are exercised by the Client

2.2 The Building Surveyor may subcontract or license all or part of its obligations under this agreement without prior notice to the client

3 FEE

3.1 The Fee payable for the private Building Surveyor Functions is, at the Building Surveyors discretion, either:

3.1.1 as indicated on invoices provided by the Building Surveyor to the Client in respect of Private Building Surveyor Functions supplied; or

3.1.2 the Building Surveyors quoted Fee (Subject to clause 3.2) which is binding upon the Building Surveyor provided that the Client shall accept the quote in writing within thirty (30) days of receipt

3.2 The Building Surveyor reserves the right to change the Fee in the event of a variation to the scope of work for the Private Building Surveyor Functions. Any variation from the plan of scheduled works or specifications (including but not limited to, any variation due to unforeseen circumstances, or as a

result of increases to the Building Surveyor in the cost of materials and labour) will be charged for on the basis of the Building Surveyors fee proposal and will be shown as variations on the invoice. Payment for all variations must be made in full at their time of completion.

3.3 Payment of an invoice is required prior to the assessment of the building permit

3.4 Payment will be made by cash, or by cheque, or by bank cheque, or by direct credit

3.5 Receipt by the Building Surveyor of any form of payment other than cash does not constitute payment until that payment has been honoured, cleared, or recognised by the building surveyor

3.6 GST, other taxes, duties, disbursements and applicable government and council fees and charges will be added to the Fee other than where they are expressly included in the Fee

4 INTELLECTUAL PROPERTY AND DATA

4.1 Nothing in this agreement affects the Intellectual Property Rights of either party, except as set out in this clause

4.2 The Client grants the Building Surveyor an unrestricted, royalty free license to use and manipulate all Intellectual Property Rights in any Data which the Client provides to the Building Surveyor to the extent necessary for the Building Surveyor to perform the Private Building Surveyor Functions

4.3 The Client warrants that any Data provided by it to the Building Surveyor will not infringe the Intellectual property Rights of any person. The Client indemnifies the Building Surveyor against any direct loss, costs, expense, demands or liability arising out of a claim by a third party against the Surveyor alleging that such Data infringes any such Intellectual Property Rights

5 INDEMNITY AND EXCLUSION OF LIABILITY

5.1 The Building Surveyor must indemnify the Client and its employees, officers and contractors against all claims, demands, expenses, loss or damage in respect of loss or damage to any property, or the death of or personal injury to any person, caused or contributed to by the Building Surveyor, a breach by the Building Surveyor of this agreement, a wilful unlawful or negligent act or omission of the Building Surveyor, and any claim action or proceeding by a third party against the Client or its employees officers and contractors caused or contributed to by the Building Surveyor.

5.2 This indemnity is reduced by the extent to which the Client contributes to the event giving rise to the claim for the indemnity


5.3 The Building Surveyor must perform the Private Building Surveyor Functions at its own risk in all things and releases the Client and its employees, officers, members and contractors from all claims, actions, proceedings, costs, expenses, losses, suffering, illness and liabilities incurred by the Building Surveyor or its employees, agents, subcontractors, third parties, and customers which arise from the performance of the Private Building Surveyor Functions

5.4 Notwithstanding any other provision in this agreement, the Building Surveyor is not liable to the Client, nor is it required to indemnify the Client, for any loss or damage suffered by the Client or for any claim against the Client (howsoever arising) for economic, indirect or consequential losses of any kind whatsoever

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RELEVANT TO THE BUILDING SURVEYOR CONTRACT

5.5 The Client indemnifies the Building Surveyor and its employees, officers and contractors against all claims, demands, expenses, loss, or damage in respect of loss or damage to any property, or the death of or personal injury to any person, caused or contributed to by the Client, a breach by the Client of this agreement, a wilful unlawful or negligent act or omission of the Client, and any claim action or proceeding by a third party against the Building Surveyor or its employees officers and contractors caused or contributed to by the Client

5.6 The Client releases and holds harmless the Building Surveyor against all claims, demands, expenses, loss or damage arising in connection with the Clients reliance on, or use of, any Private Building Surveyor Functions, including advice, given to the Client by the Building Surveyor in a manner which is not contemplated or authorised by the Act or otherwise not in accordance with any exclusions or assumption given by the Building Surveyor.

6 MUTUAL WARRANTIES

Each party represents and warrants to the other that as at the date of this agreement:

6.1 all actions, conditions and things required to be taken, fulfilled and done by it in order to enable it to enter into, exercise its rights and perform its obligations under this agreement have been done; and

6.2 all Authorisations required for its entry into, exercise if its rights under, and performance of its obligations under this agreement have been obtained

7 CLIENT WARRANTIES AND OBLIGATIONS

7.1 The Client warrants:

7.1.1 that any Data provided to the Building Surveyor is accurate and complete in all respects;

7.1.2 that, in performing the Private Building Surveyor Functions, the Surveyor acts within the Clients authority;

7.1.3 that no other person has been appointed to perform the Private Building Surveyor Functions in relation to the Project

7.2 The Client must:

7.2.1 provide all information required by the Building Surveyor within the time specified by the Building Surveyor to enable the Building Surveyor to perform the Private Building Surveyor Functions

7.2.2 provide all information required by the Private Building Surveyor within the time specified by the Building Surveyor to enable the Building Surveyor to perform the Private Building Surveyor Functions;

7.2.3 give the Building Surveyor such access to the Project and any relevant site as is required by the Building Surveyor to perform the Private Building Surveyor Function

8 FORCE MAJEURE

8.1 If a Force Majeure vent causes delay or failure by a party to perform its obligations under this agreement;

8.1.1 Neither party if liable for such delay or failure; and

8.1.2 All obligations of a party under this agreement are suspended until the Force Majeure Event ceases to apply

8.2 A party which is, by reason of a Force Majeure Event, unable to perform any obligation or condition required by this agreement must;

8.2.1 Notify the other party as soon as possible giving:

8.2.1.1 Reasonably full particulars of the Force Majeure Event;

8.2.1.2 The date of commencement of the Force Majeure Event and an estimate of the time required to enable it to resume full performance of its obligations; and

8.2.1.3 Where possible, the means proposed to be adopted to remedy or abate the Force Majeure Event

8.2.2 Use all reasonable diligence and employ all reasonable means to remedy or abate the Force Majeure Event

8.2.3 Resume performance as soon as possible after termination of the Force Majeure Event or after the Force Majeure Event abates to an extent which permits resumption of performance;

8.2.4 Notify the other party when the Force Majeure Event terminates or abates to an extent which permits resumption of performance; and

8.2.5 Notify the other party when resumption of performance occurs

8.3 If a delay or failure under this clause exceeds 60 days, either party may immediately terminate this agreement by notice

9 TERMINATION

9.1 Pursuant to section 81 of the Act, this agreement cannot be terminated without the prior written consent of the Victorian Building Authority

9.2 Notwithstanding any other provision of this agreement, the Client must pay the Building Surveyor the fee prior to termination of this agreement, or such part of the Fee which is, at that time, unpaid

9.3 Termination of this agreement under this clause does not affect any accrued rights or remedies of either party

10 CONFIDENTIAL INFORMTION

10.1 Subject to the Act, each party agrees that it will not use any Confidential Information of the other party or allow any Confidential Information of the other party to be used for any purpose, except for the purposes of and in the manner contemplated by this agreement, and agrees that it will:

10.1.1 Keep confidential;

10.1.2 Take reasonable steps to ensure that the part's officers and employees do not disclose to a third party;

10.1.3 Maintain proper and secure custody of; and

10.1.4 Not use or reproduce in any form,

Any Confidential Information belonging to the other party

11 INSURANCE

11.1 The Building Surveyor must maintain at all times during the Term all insurance required by Law or this agreement

11.2 The Building Surveyor must produce evidence of those insurances to the Client upon reasonable request

11.3 The Building Surveyor must not allow any act or omission which would make any such policy of insurance void or unenforceable

12 DISPUTE RESOLUTION

12.1 General

12.1.1 A party must not commence arbitration or court proceedings (except for urgent equitable or injunctive relief) in respect of a dispute under this agreement unless it first attempts to resolve the dispute by negotiation and mediation under this clause

12.1.2 A party claiming that a dispute has arisen under this agreement must give written notice to the other party specifying the nature and details of the dispute

12.2 Negotiation

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RELATIVE REPRESENTATIVE

12.2.1 On receipt of that notice by the other party, the parties must negotiate in good faith to resolve the dispute
12.2.2 If the parties are unable to resolve the dispute within 10 Business days, they must promptly refer the dispute to the Building Surveyor to the Building Surveyor's Representative, and
12.2.2.1 In the case of the Client to the Client's Representative, and
12.2.2.2 In the case of the Building Surveyor to the Building Surveyor's Representative
12.2.3 Those persons must meet to resolve the dispute and must be authorised to resolve the dispute

12.3 Mediation

12.3.1 If those persons are unable to resolve the dispute within 10 Business days of referral, a party may refer the dispute for mediation under the mediation rules of the Resolution Institute to:
12.3.1.1 A mediator agreed by the parties; or
12.3.1.2 If the parties are unable to agree a mediator within five Business Days, a mediator nominated by the Resolution Institute
12.3.2 The role of the mediator is to assist in negotiating a resolution of the dispute. A mediator may not make a decision that is binding on a party unless that party has agreed in writing.
12.3.2.1 Any information or documents disclosed by a party under this clause:
12.3.2.2 must be kept confidential
12.3.2.3 may not be used expect to attempt to resolve the dispute
12.3.3 Each party must bear its own mediation costs. The parties must bear equally the costs of any mediator
12.4 Performance

If possible, each part must perform its obligations under this agreement during negotiations, mediation and arbitration proceedings

13 MISCELLANEOUS

13.1 Entire Agreement

This agreement:

13.1.1 constitutes the entire agreement between the parties about its subject matter;
13.1.2 supersedes any prior understanding, agreement, condition warranty, indemnity or representation about its subject matter

13.2 Waiver

A waiver of a provision of or right under this agreement must be in writing signed by the party giving the waiver and is effective only to the extent set out in the written waiver

13.3 Exercise of power

13.3.1 The failure, delay, relaxation or indulgence by a party in exercising a power or right under this agreement is not a waiver of that power or right
13.3.2 An exercise of a power or right under this agreement does not preclude a further exercise of it or the exercise of another right or power

13.4 Survival

Each indemnity, obligation or confidence and other term capable of taking effect after the expiration or termination of this agreement, remains in force after the expiration or termination of this agreement

13.5 Governing Law

This agreement is governed by the law in Victoria and is subject to the Jurisdiction of the Courts in Victoria

13.6 Consumer Law

13.6.1 Nothing in this agreement is intended to have the effect of contracting out of any applicable provisions of the Competition and Consumer Act 2010 (Cth) or the Australian Consumer Law and Fair Trading Act 2012 (Vic) (including and substitute to those Acts or re-enactment therefore), except to the extent permitted by those Acts where applicable

13.6.2 Where the Client buys Private Building Surveyor Functions as a consumer these terms and conditions shall be subject to any laws or legislation governing the rights of consumers and shall not affect the consumers statutory right

14 NOTICES

14.1 A notice, demand, consent, approval or communication under this agreement (Notice) must be:

14.1.1 in writing, in English and signed by a person authorised by the sender; and
14.1.2 hand delivered or sent by prepaid post or email to the recipients address or email address specified in the Schedule, as varied by any Notice given by the recipient to the sender
14.2 A notice is deemed to be received:
14.2.1 if hand delivered, on delivery;
14.2.2 if sent by prepaid post, two business days after posting (or seven business days after posting if posting to or from a place outside Australia);
14.2.3 if sent by email, at the time deemed to be the time of receipt under the Electronic Transactions (Victoria) Act 2000 (Vic) or the Electronic Transactions Act 1999 (Cth) if the notice was being given under a law of the Commonwealth of Australia However, if the notice is deemed to be received on a day that is not a business day or after 5.00pm, the notice is deemed to be received at 9.00am on the next business day.

15 DEFINITIONS AND INTERPRETATION

15.1 Definitions

In this agreement:

15.1.1 Act means the Building Act 1993 (Vic)
15.1.2 Authorisation means any authorisation, agreement, approval, license, permit, consent, qualification, accreditation, filing, registration, certificate, resolution, direction, declaration or exemption and any renewal and variation of them by or with a Governmental Agency
15.1.3 Building Quality means any matter that could or might be a defective item with respect to any contract between the Client and another party which defines the standards of work to be achieved pursuant to that contract with respect to the Project but does not include matters which relate to conformance by the Project to technical standards including the National Constriction Code
15.1.4 Building Surveyor means the person identified as such on the front page of this agreement
15.1.5 Business Day means a day which is not a weekend or public holiday in Victoria
15.1.6 Confidential Information means any documentation or information of a confidential nature supplied by either party to the other in connection with this agreement and includes all scientific, technical, manufacturing, performance, sales, financial, commercial, contractual or marketing information possessed by a party but has been previously published or otherwise disclosed to the general public or is required to be disclosed by law
15.1.7 Data means information directly or indirectly relating to this agreement and/or the Private Building Surveyor Functions and includes software (including source code and object code versions), manuals, diagrams, graphs, charts,

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projections, specifications, estimates, records, concepts, documents, accounts, plans, formulae, designs, method, techniques, processes, supplier lists, price lists, market research information, correspondence, letters, warranties and manufacturers information and data sheets, personal identification numbers (PINS) and access codes of security and alarm systems, and papers of every description including all

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RELIEF FROM BUILDING PERMIT FEE

copies of and extracts from them
15.1.8 Fee is defined in clause 3

15.1.9 Force Majeure Event means an event beyond the reasonable control of the parties which precludes a party from performing on time an obligation under this agreement, such circumstances include;

15.1.9.1 Acts of God, lightning strikes, earthquakes, floods, storms, explosions, fires and any natural disaster; and

15.1.9.2 Acts of war, acts of public enemies, terrorists, riots, civil commotion, malicious damage, sabotage and revolution

15.1.10 Intellectual Property Rights includes property and rights in respect of or in connection with copyright (including future copyright and rights in the nature or analogous to copyright), know-how, trade mark, service mark, design, inventions (including patents), semi-conductor or circuit layout rights, trade, business or company names, or other proprietary rights or any rights to registration of such rights (including all renewals and extensions) whether created before or on or after this agreement

15.1.11 Law means any statute, regulation, order, rule, subordinate, legislation, or other document enforceable under any statute, regulation, order, rule or subordinate legislation

15.1.12 Private Building Surveyor Functions is defined in Clause 1 to this agreement

15.1.13 Term means the period starting on the date that the client accepts the terms and conditions of this agreement as per clause 1 and concluding upon the completion of the Private Building Surveyor Functions or termination of this agreement, whichever occurs first.

15.2 Interpretation

In this agreement, unless the context otherwise requires:

15.2.1 headings do not affect interpretation;

15.2.2 singular includes plural and plural includes singular;

15.2.3 words of one gender includes any gender;

15.2.4 a reference to a party includes its executors, administrators, successors and permitted assign;

15.2.5 a reference to a person includes a partnership, corporation, association, government body and any other entity;

15.2.6 a reference to this agreement includes and schedules and annexures to this agreement;

15.2.7 an agreement, representation, warranty or indemnity by two or more parties (including where two or more person are included on the same defined term) binds them jointly and severally;

15.2.8 an agreement, representation, warranty or indemnity in favour of two or more parties (including where two or more person are included on the same defined term) is for the benefit of them jointly and severally

15.2.9 a reference to legislation includes and amendment to it, any legislation substituted for it, and subordinate legislation made under it

15.2.10 a provision is not construed against a party only because that party drafted it;

15.2.11 an unenforceable provision or part of a provision may be severed and the remainder of this agreement continues in force, unless this would materially change the intended effect of this agreement

15.2.12 the meaning of general words is not limited by specific examples introduced by including", "for example" or similar expressions;

15.2.13 an expression defined in the Act has the meaning given by the Act at the date of this agreement;

15.2.14 an expression defined in the Corporations Act 2001 (Cth) has the meaning given by the Act at the date of this agreement; and

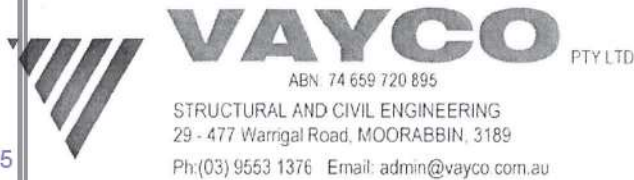
15.2.15 an expression defined in the A New Tax System (Goods and Service Tax) Act 1999 (CTH) has the meaning given by that Act at the date of this agreement

RESIWISE PTY LTD

BUILDING PERMIT

ISSUED 17/10/2023
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RELEVANT BUILDING SURVEYOR
Resiwise Pty Ltd
CBS-L57031



Section 238(1)(a)
Building Regulation 2018
Regulations 126

CERTIFICATE OF COMPLIANCE FOR EXISTING BUILDING WORK

This certificate is issued to:

Relevant building surveyor: Resiwise Pty Ltd
Postal address: PO BOX 610 Mentone 3194
Email: office@resiwise.com.au

This certificate is issued in relation to the proposed building work at:

Address: 28 Morbey Road, Gembrook

Nature of proposed building work:

Existing Agricultural Building			
Stores:	1	Type of Construction:	N/A
Rise in Storeys:	N/A	Building Classification:	Class 7b – BCA Volume 2 - 2019
Effective Height:	N/A		

Prescribed class of building work for which this certificate was issued:

Design of building work relating to Structural matters

DESIGN DOCUMENTS:

Type of Document:	Document No, Type of Document and Pages	Date:
Structural Dwgs	Job no. 220742 Dwgs. S01C Dwgs. S02B to S03B	07/03/2023 24/10/2022
Prepared by	Vayco P/L	
Computations	Job no. 220742 Page 1 – 11	March 2023
Prepared by	Vayco P/L	

REFERENCE DOCUMENTS:

Type of Document:	Document No, Type of Document and Pages	Date:
Architectural Dwgs	Job No. N/A Sheet A.01.1 to A.01.2.2	N/A
Prepared by	RM Design	

The design certified by this certificate complies with the following provisions of the Building Act 1993, Building Regulations 2018 or National Construction Code:

Act, Regulation or NCC	Section, Regulation, Part	Act, Regulation or NCC	Section, Regulation, Part
BCA VOL 2	Section 3 Structural Design Manual	AS 3600 2018	Concrete structures
AS 1170.0 2002	Structural Design Action Part 0	AS 3700 2018	Masonry Structure
AS 1170.1 2002	Structural Design Action Part 1	AS 4100 1998	Steel Structure
AS 1170.2 2011	Wind actions	AS 4773.1 2015	Masonry in small buildings Part 1
AS 1720.1 2010	Timber structures Part 1	AS 1684.4 2010	Residential timber-framed construction Part 4
AS3500.3 2018	Storm water Drainage		
AS 2870 2011	Residential slab and footings	AS 1720.1 2010	Timber Structure Code

I did prepare the design, or part of the design, and I certify that the design set out in the documents listed above complies with the provisions set out above. I believe that I hold the required skills, experience and knowledge to issue this certificate and can demonstrate this if requested to do so.

Signature

17 / 3 / 2023

Constantinos Vayenas.
29 – 477 Warrigal Road, MOORABBIN, 3189
con@vayco.com.au
Category/Class: Engineer
MIE Aust Eng 3460985
Registered Professional Engineer PE0003180 (EC 31170)
On behalf of Vayco Pty Ltd

RESIWISE PTY LTD

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RELEVANT BUILDING SURVEYOR
Resiwise Pty Ltd
CBS-L57031



VAYCO

 PTY LTD

ABN: 74 659 720 895

STRUCTURAL AND CIVIL ENGINEERING
29 - 477 Warrigal Road, MOORABBIN, 3189

Ph:(03) 9553 1376 Email: admin@vayco.com.au

Project: Existing Agricultural building at
Address: 28 Morbey Road, Gembrook
Job no: 220742

By: S. Kunwar
Date: March 2023

The enclosed computations and specifications are in accordance with the following references and codes of practice:

Reference Documents - Design Codes

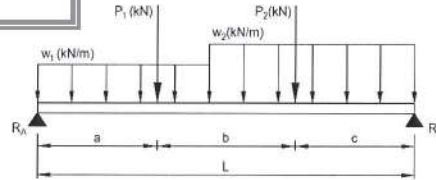
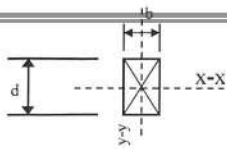
Building Code of Australia
AS1170.1 - 2002 SAA Loading Code Dead and Live Loads
AS1170.2 – 2011 SAA Loading Code Wind Loads
AS3600 - 2018 SAA Concrete Structures Code
AS4100 – 1998 SAA Steel Structures Code
AS1720.1 – 2010 SAA Timber Structures Code
AS1684 – 2010 SAA Timber Framing Code
AS2870.1 – 2011 SAA Residential Slabs and Footings
AS3700 – 2018 SAA Masonry Code
Safe Load Tables - AISC

This design and documentation relate to the specific job as addressed and for the particular items outlined in the agreed brief and engagement. The design is not adaptable to other projects and is not to be interpreted or used other than for the specific item nominated. It is presumed that basic principles of construction are applicable to the installation of the designed element. It is presumed that the contractors and installers of the designed elements are experienced in all facets of construction and aware of the complexities and objectives in respect to the element being installed.

RELEVANT BUILDING SURVEYOR
Member: **Resiwise Pty Ltd**
CBS-L57031

SPAN = 1.8 m

Lateral restraint (Lay) = 1.8 m



a = 1 m
b = 0 m
c = 0.8 m

Uniform Distributed Loads:

Dead Loads -

Roofing -	0.40 kPa
Stud Wall -	0.25 kPa
Timber Floor -	0.70 kPa
Misc-	1.20 kPa
SWT -	0.10 kN/m
Q1 =	0.5 kPa

Live Loads -

Roof -	0.49 kPa
Floor 1 -	3.00 kPa
Misc-	3.00 kPa

UDL, W1

	Start	0.00 m	End	1.80 m
Roofing -	2.70 m	=	1.08 kN/m	
Stud Wall -	2.70 m	=	0.68 kN/m	
Timber Floor -	0.60 m	=	0.42 kN/m	
Misc-	1.20 m	=	1.44 kN/m	
SWT -			0.10 kN/m	
Q1 =	0.60 m		0.3 kN/m	
Total DL =			4.02 kN/m	
Live Loads -				
Roof -	2.70 m	=	1.32 kN/m	
Floor 1 -	0.60 m	=	1.80 kN/m	
Misc-	1.20 m	=	3.60 kN/m	
Total LL =			6.72 kN/m	
DL + LL =			10.74 kN/m	

UDL, W2

	Start	1.80 m	End	1.80 m
Roofing -	0.00 m	=	0.00 kN/m	
Stud Wall -	0.00 m	=	0.00 kN/m	
Timber Floor -	0.00 m	=	0.00 kN/m	
Misc-	0.00 m	=	0.00 kN/m	
SWT -			0.10 kN/m	
Q1 =	0.00 m		0 kN/m	
Total DL =			0.10 kN/m	
Live Loads -				
Roof -	0.00 m	=	0.00 kN/m	
Floor 1 -	0.00 m	=	0.00 kN/m	
Misc-	0.00 m	=	0.00 kN/m	
Total LL =			0.00 kN/m	
DL + LL =			0.10 kN/m	

Point Loading:

Dead Load -	0.0 kN	Dead Load -	0.00 kN
Live Load -	0.0 kN	Live Load -	0.00 kN
DL + LL =	0.0 kN	DL + LL =	0.0 kN

Reactions:

	Working	Ultimate
Ra DL =	3.6 kN	4.5 kN
Ra LL =	6.1 kN	9.1 kN
Ra TL =	9.7 kN	13.6 kN

	Working	Ultimate
Rb DL =	3.6 kN	4.5 kN
Rb LL =	6.1 kN	9.1 kN
Rb TL =	9.7 kN	13.6 kN

Timber Beam Design:

Strength limit states

Permanent Term	phi =	0.80	k ₁ =	0.57
M* =	2.03 kNm	@	0.90 m	V* = 10.57 kN
ΦM =	4.94 kNm	...O.K.		ΦV = 10.97 kN ...O.K.

Short Term	phi =	0.8	k ₁ =	0.94
M* =	6.04 kNm	@	0.90 m	V* = 13.59 kN
ΦM =	8.14 kNm	...O.K.		ΦV = 18.09 kN ...O.K.

Factors	Section Properties
k ₄ = 1.00	Exx = 7900
k ₆ = 1.00	Ixx = 51.44
k ₉ = 1.00	Zxx = 541.5
k ₁₁ = 1.00	j ₂ = 2
k ₁₂ = 1.00	f'b = 20
no. 2	f's = 2.1
	b = 45
	d = 190

Deflection

Defl. (dl) =	2.70 mm	@	0.90 m	Allowable	6 mm	...O.K.
Defl. (live load) =	2.26 mm	@	0.90 m	Allowable	5 mm	...O.K.

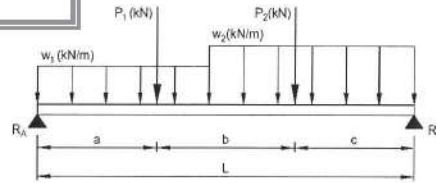
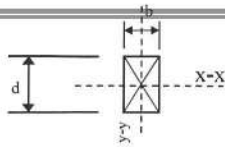
TOTAL L/ 362.7

Adopt: 2/190 x 45 F7 KD PINE

RELEVANT BUILDING SURVEYOR
Member: Resiwise Pty Ltd
CBS-L57031

SPAN = 1.5 m

Lateral restraint (Lay) = 0.5 m



a = 1 m
b = 0 m
c = 0.5 m

Uniform Distributed Loads:

		UDL, W1		UDL, W2	
		Start	End	Start	End
Dead Loads -		0.00 m	1.50 m	1.50 m	1.50 m
Roofing -	0.40 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Stud Wall -	0.40 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Timber Floor -	0.70 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Misc-	1.20 kPa	0.80 m	= 0.96 kN/m	0.00 m	= 0.00 kN/m
SWT -	0.10 kN/m		0.10 kN/m		0.10 kN/m
Q1 =	0.5 kPa	0.00 m	0 kN/m	0.00 m	0 kN/m
		Total DL =	1.06 kN/m	Total DL =	0.10 kN/m
Live Loads -					
Roof -	0.25 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Floor 1 -	1.50 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Misc-	3.00 kPa	0.80 m	= 2.40 kN/m	0.00 m	= 0.00 kN/m
		Total LL =	2.40 kN/m	Total LL =	0.00 kN/m
		DL + LL =	3.46 kN/m	DL + LL =	0.10 kN/m

Point Loading:

Dead Load -	0.0 kN	Dead Load -	0.00 kN
Live Load -	0.0 kN	Live Load -	0.00 kN
DL + LL =	0.0 kN	DL + LL =	0.0 kN

Reactions:

	Working	Ultimate
Ra DL =	0.8 kN	1.0 kN
Ra LL =	1.8 kN	2.7 kN
Ra TL =	2.6 kN	3.7 kN

	Working	Ultimate
Rb DL =	0.8 kN	1.0 kN
Rb LL =	1.8 kN	2.7 kN
Rb TL =	2.6 kN	3.7 kN

Timber Beam Design:

Strength limit states

Permanent Term phi = 0.80 k₁ = 0.57

M* =	0.37 kNm	@	0.75 m	V* =	2.79 kN
ΦM =	1.11 kNm	...O.K.		ΦV =	5.20 kN ...O.K.

Short Term phi = 0.8 k₁ = 0.94

M* =	1.37 kNm	@	0.75 m	V* =	3.69 kN
ΦM =	1.83 kNm	...O.K.		ΦV =	8.57 kN ...O.K.

Factors	Section Properties
k ₄ = 1.00	Exx = 7900
k ₆ = 1.00	Ixx = 5.468
k ₉ = 1.00	Zxx = 121.5
k ₁₁ = 1.00	j ₂ = 2
k ₁₂ = 1.00	f _b = 20
no. 2	f _s = 2.1
	b = 45
	d = 90

Deflection

Defl. (dl) =	3.24 mm	@	0.75 m	Allowable	5 mm	...O.K.
Defl. (live load) =	3.66 mm	@	0.75 m	Allowable	4.167 mm	...O.K.
				TOTAL	L/	217.5

Adopt: 2/90 x 45 F7 KD PINE

ISSUED 17/10/2023
 NUMBER CBS-L-57031-7880913183835

RELEVANT BUILDING SUBJECT
BEAM: FB3
 Resiwise Pty Ltd

SPAN = 1.20 m
 Le = 2.00 m

EFFECTIVE LENGTH

LOADINGS: (U.D.L. - w 1)

		START	0.00 m	END	1.20 m
MISC. DL	=	0.75 m x	1.20 kPa	=	0.90 kN/m
MISC. LL	=	0.75 m x	3.00 kPa	=	2.25 kN/m
ROOF DL	=	2.80 m x	0.40 kPa	=	1.12 kN/m
ROOF LL	=	2.80 m x	0.66 kPa	=	1.84 kN/m
FLOOR DL	=	0.26 m x	1.20 kPa	=	0.31 kN/m
FLOOR LL	=	0.26 m x	3.00 kPa	=	0.78 kN/m
WALL DL	=	3.00 m x	0.40 kPa	=	1.20 kN/m
BEAM SW	=			=	0.30 kN/m

LOADINGS: (U.D.L. - w 2)

		START	1.20 m	END	1.20 m
MISC. DL	=	0.00 m x	1.20 kPa	=	0.00 kN/m
MISC. LL	=	0.00 m x	3.00 kPa	=	0.00 kN/m
ROOF DL	=	0.00 m x	0.40 kPa	=	0.00 kN/m
ROOF LL	=	0.00 m x	0.66 kPa	=	0.00 kN/m
FLOOR DL	=	0.00 m x	1.20 kPa	=	0.00 kN/m
FLOOR LL	=	0.00 m x	3.00 kPa	=	0.00 kN/m
WALL DL	=	0.00 m x	0.40 kPa	=	0.00 kN/m
BEAM SW	=			=	0.30 kN/m

Dead load (G) = 3.83 kN/m
 Live load (Q) = 4.87 kN/m
 Total load = 8.70 kN/m

Dead load (G) = 0.30 kN/m
 Live load (Q) = 0.00 kN/m
 Total load = 0.30 kN/m

LOADINGS: (POINT LOAD)

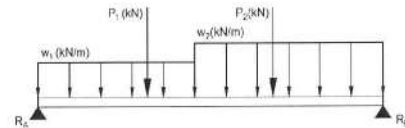
Location of Point load (P1) = 1.00 m
 P (G) = 0.00 kN
 P (Q) = 0.00 kN
 P (TL) = 0.00 kN

Location of Point load (P2) = 1.00 m
 P (G) = 0.00 kN
 P (Q) = 0.00 kN
 P (TL) = 0.00 kN

DESIGN

w 1 - Ultimate = 12.09 kN/m
 w 2 - Ultimate = 0.37 kN/m
 P 1 - Ultimate = 0.00 kN
 P 2 - Ultimate = 0.00 kN

Mu = 2.2 kNm



RA(U) = 7.25 RB(U) = 7.25
 RA(W) = 5.22 RB(W) = 5.22
 RA(DL) = 2.30 RB(DL) = 2.30
 RA(LL) = 2.92 RB(LL) = 2.92

M_{MAX} @ x = 0.60 m

TRY 200x200x5.0SHS

phi Ms = 75.3 kNm
 alpha m = 1.00
 alpha s = 1.03
 Phi Mb = 75.3 kNm ..OK

SECTION PROPERTIES	
Ix	= 23.9 E6 mm ⁴
Iy	= 23.9 E6 mm ⁴
Zex	= 239 E3 mm ³
J	= 37800 E3 mm ⁴
Iw	= 0 E9 mm ⁹
Fy	= 350 MPa

DEFLECTION

l/300 = 4.00 mm

PRECAMBER = 0 mm

Def'n DL = 0.02 mm
 Def'n LL = 0.03 mm
 DL + LL = 0.05 mm ..OK

ADOPT 200x200x5.0SHS

RELEVANT BEAMING SUBJECT FOR
FB4
 Resiwise Pty Ltd
 CBS-L57031

SPAN = 2.21 m
 Le = 2.23 m

EFFECTIVE LENGTH

LOADINGS: (U.D.L. - w 1)

		START	0.00 m	END	2.21 m
MISC. DL	=	0.00 m x	1.20 kPa	=	0.00 kN/m
MISC. LL	=	0.00 m x	2.00 kPa	=	0.00 kN/m
ROOF DL	=	0.00 m x	0.40 kPa	=	0.00 kN/m
ROOF LL	=	0.00 m x	0.25 kPa	=	0.00 kN/m
FLOOR DL	=	0.53 m x	1.20 kPa	=	0.64 kN/m
FLOOR LL	=	0.53 m x	3.00 kPa	=	1.59 kN/m
WALL DL	=	0.00 m x	0.40 kPa	=	0.00 kN/m
BEAM SW	=			=	0.05 kN/m

LOADINGS: (U.D.L. - w 2)

		START	2.21 m	END	2.21 m
MISC. DL	=	0.00 m x	1.20 kPa	=	0.00 kN/m
MISC. LL	=	0.00 m x	2.00 kPa	=	0.00 kN/m
ROOF DL	=	0.00 m x	0.40 kPa	=	0.00 kN/m
ROOF LL	=	0.00 m x	0.25 kPa	=	0.00 kN/m
FLOOR DL	=	0.00 m x	1.20 kPa	=	0.00 kN/m
FLOOR LL	=	0.00 m x	3.00 kPa	=	0.00 kN/m
WALL DL	=	0.00 m x	0.40 kPa	=	0.00 kN/m
BEAM SW	=			=	0.05 kN/m

Dead load (G) = 0.68 kN/m
 Live load (Q) = 1.59 kN/m
 Total load = 2.27 kN/m

Dead load (G) = 0.05 kN/m
 Live load (Q) = 0.00 kN/m
 Total load = 0.05 kN/m

LOADINGS: (POINT LOAD)

Location of Point load (P1) = 1.00 m
 P (G) = 0.00 kN
 P (Q) = 0.00 kN
 P (TL) = 0.00 kN

Location of Point load (P2) = 1.00 m
 P (G) = 0.00 kN
 P (Q) = 0.00 kN
 P (TL) = 0.00 kN

DESIGN

w 1 - Ultimate = 3.24 kN/m
 w 2 - Ultimate = 0.06 kN/m
 P 1 - Ultimate = 0.00 kN
 P 2 - Ultimate = 0.00 kN

Mu = 2.0 kNm

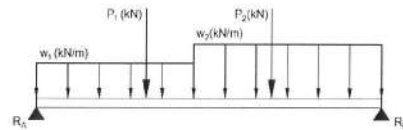
TRY 75x75x2.0SHS

phi Ms = 4.3 kNm
 alpha m = 1.00
 alpha s = 1.01
Phi Mb = 4.3 kNm ..OK

DEFLECTION

I/300 = 7.38 mm

Def'n DL = 2.11 mm
 Def'n LL = 4.92 mm
 DL + LL = 7.02 mm ..OK



RA(U) = 3.58 RB(U) = 3.58
 RA(W) = 2.51 RB(W) = 2.51
 RA(DL) = 0.75 RB(DL) = 0.75
 RA(LL) = 1.76 RB(LL) = 1.76
 MMAX @ x = 1.11 m

SECTION PROPERTIES

Ix = 0.505 E6 mm⁴
 Iy = 0.505 E6 mm⁴
 Zex = 13.5 E3 mm³
 J = 790 E3 mm⁴
 Iw = 0 E9 mm⁹
 Fy = 350 MPa

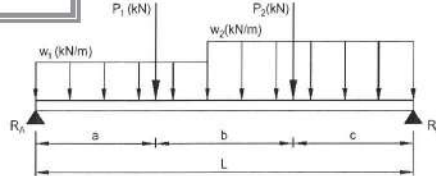
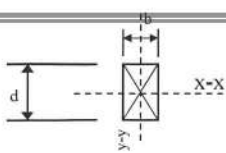
PRECAMBER = 0 mm

ADOPT 75x75x2.0SHS

RELEVANT BUILDING SURVEYOR
Member: Resiwise Pty Ltd
CBS-L57031

SPAN = 2.4 m

Lateral restraint (Lay) = 2.4 m



a = 1 m
b = 0 m
c = 1.4 m

Uniform Distributed Loads:

		UDL, W1		UDL, W2	
		Start	End	Start	End
Dead Loads -		0.00 m	2.40 m	2.40 m	2.40 m
Roofing -	0.40 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Stud Wall -	0.40 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Timber Floor -	0.70 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Misc-	1.00 kPa	0.45 m	= 0.45 kN/m	0.00 m	= 0.00 kN/m
SWT -	0.10 kN/m		0.10 kN/m		0.10 kN/m
Q1 =	0.5 kPa	0.00 m	0 kN/m	0.00 m	0 kN/m
		Total DL =	0.55 kN/m	Total DL =	0.10 kN/m
Live Loads -					
Roof -	0.25 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Floor 1 -	1.50 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Misc-	3.00 kPa	0.45 m	= 1.35 kN/m	0.00 m	= 0.00 kN/m
		Total LL =	1.35 kN/m	Total LL =	0.00 kN/m
		DL + LL =	1.90 kN/m	DL + LL =	0.10 kN/m

Point Loading:

Dead Load -	0.0 kN	Dead Load -	0.00 kN
Live Load -	0.0 kN	Live Load -	0.00 kN
DL + LL =	0.0 kN	DL + LL =	0.0 kN

Reactions:

	Working	Ultimate
Ra DL =	0.7 kN	0.8 kN
Ra LL =	1.6 kN	2.4 kN
Ra TL =	2.3 kN	3.3 kN

	Working	Ultimate
Rb DL =	0.7 kN	0.8 kN
Rb LL =	1.6 kN	2.4 kN
Rb TL =	2.3 kN	3.3 kN

Timber Beam Design:

Strength limit states

Permanent Term phi = 0.80 k₁ = 0.57
M* = 0.50 kNm @ 1.20 m V* = 2.45 kN
ΦM = 1.60 kNm ...O.K. ΦV = 5.49 kN ...O.K.

Short Term phi = 0.8 k₁ = 0.94
M* = 1.93 kNm @ 1.20 m V* = 3.26 kN
ΦM = 2.63 kNm ...O.K. ΦV = 9.05 kN ...O.K.

Factors	Section Properties
k ₄ = 1.00	Exx = 7900
k ₆ = 1.00	Ixx = 25.72
k ₉ = 1.00	Zxx = 270.8
k ₁₁ = 1.00	j ₂ = 2
k ₁₂ = 0.65	f'b = 20
no. 1	f's = 2.1
	b = 45
	d = 190

Deflection

Defl. (dl) = 2.34 mm @ 1.20 m Allowable 8 mm ...O.K.
Defl. (live load) = 2.87 mm @ 1.20 m Allowable 6.667 mm ...O.K. TOTAL L/ 460.8

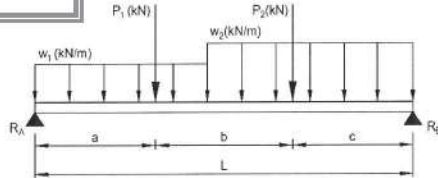
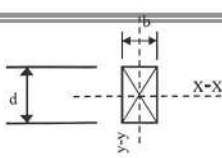
Adopt: 190 x 45 F7 KD PINE

RELEVANT BUILDING SURVEYOR

Member: **Resiwise Pty Ltd**
FJ2 CBS-L57031

SPAN = 1.5 m

Lateral restraint (Lay) = 1.5 m



a = 1 m
b = 0 m
c = 0.5 m

Uniform Distributed Loads:

		UDL, W1		UDL, W2	
		Start	End	Start	End
Dead Loads -		0.00 m	1.50 m	1.50 m	1.50 m
Roofing -	0.40 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Stud Wall -	0.40 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Timber Floor -	0.70 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Misc-	1.00 kPa	0.45 m	= 0.45 kN/m	0.00 m	= 0.00 kN/m
SWT -	0.10 kN/m		0.10 kN/m		0.10 kN/m
Q1 =	0.5 kPa	0.00 m	= 0 kN/m	0.00 m	= 0 kN/m
		Total DL =	0.55 kN/m	Total DL =	0.10 kN/m
Live Loads -					
Roof -	0.25 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Floor 1 -	1.50 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Misc-	3.00 kPa	0.45 m	= 1.35 kN/m	0.00 m	= 0.00 kN/m
		Total LL =	1.35 kN/m	Total LL =	0.00 kN/m
		DL + LL =	1.90 kN/m	DL + LL =	0.10 kN/m

Point Loading:

Dead Load -	0.0 kN	Dead Load -	0.00 kN
Live Load -	0.0 kN	Live Load -	0.00 kN
DL + LL =	0.0 kN	DL + LL =	0.0 kN

Reactions:

	Working	Ultimate
Ra DL =	0.4 kN	0.5 kN
Ra LL =	1.0 kN	1.5 kN
Ra TL =	1.4 kN	2.0 kN

	Working	Ultimate
Rb DL =	0.4 kN	0.5 kN
Rb LL =	1.0 kN	1.5 kN
Rb TL =	1.4 kN	2.0 kN

Timber Beam Design:

Strength limit states

Permanent Term phi = 0.80 k₁ = 0.57
 M* = 0.19 kNm @ 0.75 m V* = 1.53 kN
 ΦM = 0.55 kNm ...O.K. ΦV = 2.60 kN ...O.K.

Short Term phi = 0.8 k₁ = 0.94
 M* = 0.76 kNm @ 0.75 m V* = 2.03 kN
 ΦM = 0.91 kNm ...O.K. ΦV = 4.29 kN ...O.K.

Factors	Section Properties
k ₄ = 1.00	Exx = 7900
k ₆ = 1.00	Ixx = 2.734
k ₉ = 1.00	Zxx = 60.75
k ₁₁ = 1.00	j ₂ = 2
k ₁₂ = 1.00	f'b = 20
no. 1	f's = 2.1
	b = 45
	d = 90

Deflection

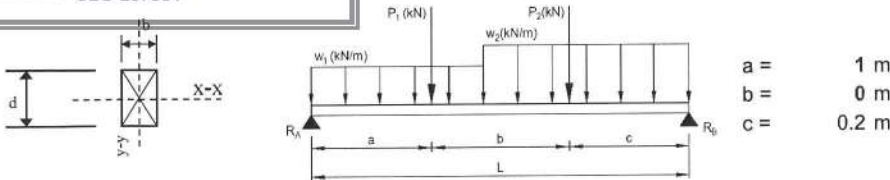
Defl. (dl) = 3.36 mm @ 0.75 m Allowable 5 mm ...O.K.
 Defl. (live load) = 4.12 mm @ 0.75 m Allowable 4.167 mm ...O.K.

TOTAL L/ 200.6

Adopt: 90 x 45 F7 KD PINE

RELEVANT BUILDING SURVEYOR
Member: **Resiwise Pty Ltd**
CBS-L57031

SPAN = 1.2 m Lateral restraint (Lay) = 2.0 m



Uniform Distributed Loads:

		UDL, W1		UDL, W2	
		Start	End	Start	End
Dead Loads -		0.00 m	1.20 m	1.20 m	1.20 m
Roofing -	0.40 kPa	0.50 m	= 0.20 kN/m	0.00 m	= 0.00 kN/m
Stud Wall -	0.40 kPa	2.70 m	= 1.08 kN/m	0.00 m	= 0.00 kN/m
Timber Floor -	0.70 kPa	0.25 m	= 0.18 kN/m	0.00 m	= 0.00 kN/m
Misc-	1.20 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
SWT -	0.10 kN/m		= 0.10 kN/m		= 0.10 kN/m
Q1 =	0.5 kPa	0.25 m	= 0.125 kN/m	0.00 m	= 0 kN/m
		Total DL =	1.68 kN/m	Total DL =	0.10 kN/m
Live Loads -					
Roof -	3.12 kPa	0.50 m	= 1.56 kN/m	0.00 m	= 0.00 kN/m
Floor 1 -	1.50 kPa	0.25 m	= 0.38 kN/m	0.00 m	= 0.00 kN/m
Misc-	2.00 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
		Total LL =	1.94 kN/m	Total LL =	0.00 kN/m
		DL + LL =	3.62 kN/m	DL + LL =	0.10 kN/m

Point Loading:

Dead Load -	0.0 kN	Dead Load -	0.00 kN
Live Load -	0.0 kN	Live Load -	0.00 kN
DL + LL =	0.0 kN	DL + LL =	0.0 kN

Reactions:

	Working	Ultimate		Working	Ultimate
Ra DL =	1.0 kN	1.3 kN	Rb DL =	1.0 kN	1.3 kN
Ra LL =	1.2 kN	1.7 kN	Rb LL =	1.2 kN	1.7 kN
Ra TL =	2.2 kN	3.0 kN	Rb TL =	2.2 kN	3.0 kN

Timber Beam Design:

Strength limit states

Permanent Term $\phi = 0.80$ $k_1 = 0.57$
 $M^* = 0.38$ kNm @ 0.60 m $V^* = 2.42$ kN
 $\phi M = 1.73$ kNm ...O.K. $\phi V = 10.45$ kN ...O.K.

Short Term $\phi = 0.8$ $k_1 = 0.94$
 $M^* = 0.89$ kNm @ 0.60 m $V^* = 3.00$ kN
 $\phi M = 2.85$ kNm ...O.K. $\phi V = 17.23$ kN ...O.K.

Factors	Section Properties
$k_4 = 1.00$	$E_{xx} = 10000$
$k_6 = 1.00$	$I_{xx} = 25.72$
$k_9 = 1.00$	$Z_{xx} = 270.8$
$k_{11} = 1.00$	$j_2 = 2$
$k_{12} = 0.87$	$f_b = 16$
no. 1	$f_s = 4$
	$b = 45$
	$d = 190$

Deflection

Defl. (dl) = 0.35 mm @ 0.60 m Allowable 4 mm ...O.K.
 Defl. (live load) = 0.20 mm @ 0.60 m Allowable 3.333 mm ...O.K.

TOTAL L/ 2159

Adopt: 190 X 45 MGP10

RESIWISE PTY LTD

BUILDING PERMIT WAYCO

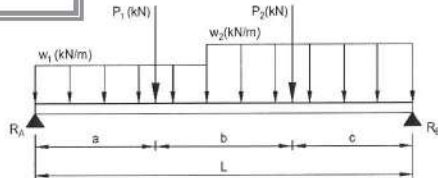
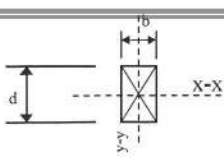
ISSUED 17/10/22
 NUMBER CBS-L 57031 (STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS)

Sheet:
 Date: 24-Oct-22
 Job No. 220742

Member: **Resiwise Pty Ltd**
 CBS-L 57031

SPAN = 1.0 m

Lateral restraint (Lay) = 2.0 m



a = 1 m
 b = 0 m
 c = 0.0 m

Uniform Distributed Loads:

		UDL, W1		UDL, W2	
		Start	End	Start	End
Dead Loads -		0.00 m	1.00 m	1.00 m	1.00 m
Roofing -	0.40 kPa	3.10 m	= 1.24 kN/m	0.00 m	= 0.00 kN/m
Stud Wall -	0.40 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Timber Floor -	0.70 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Misc-	1.20 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
SWT -	0.10 kN/m		0.10 kN/m		0.10 kN/m
Q1 =	0.5 kPa	0.00 m	0 kN/m	0.00 m	0 kN/m
		Total DL =	1.34 kN/m	Total DL =	0.10 kN/m
Live Loads -					
Roof -	0.70 kPa	3.10 m	= 2.17 kN/m	0.00 m	= 0.00 kN/m
Floor 1 -	1.50 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
Misc-	2.00 kPa	0.00 m	= 0.00 kN/m	0.00 m	= 0.00 kN/m
		Total LL =	2.17 kN/m	Total LL =	0.00 kN/m
		DL + LL =	3.51 kN/m	DL + LL =	0.10 kN/m

Point Loading:

Dead Load -	0.0 kN	Dead Load -	0.00 kN
Live Load -	0.0 kN	Live Load -	0.00 kN
DL + LL =	0.0 kN	DL + LL =	0.0 kN

Reactions:

	Working	Ultimate
Ra DL =	0.7 kN	0.8 kN
Ra LL =	1.1 kN	1.6 kN
Ra TL =	1.8 kN	2.5 kN

	Working	Ultimate
Rb DL =	0.7 kN	0.8 kN
Rb LL =	1.1 kN	1.6 kN
Rb TL =	1.8 kN	2.5 kN

Timber Beam Design:

Strength limit states

Permanent Term
 phi = 0.80 k₁ = 0.57
 M* = 0.21 kNm @ 0.50 m V* = 1.92 kN
 ΦM = 0.44 kNm ...O.K. ΦV = 4.95 kN ...O.K.

Short Term
 phi = 0.8 k₁ = 0.94
 M* = 0.61 kNm @ 0.50 m V* = 2.47 kN
 ΦM = 0.73 kNm ...O.K. ΦV = 8.16 kN ...O.K.

Factors	Section Properties
k ₄ = 1.00	E _{xx} = 10000
k ₆ = 1.00	I _{xx} = 2.734
k ₉ = 1.00	Z _{xx} = 60.75
k ₁₁ = 1.00	j ₂ = 2
k ₁₂ = 1.00	f _b = 16
no. 1	f _s = 4
	b = 45
	d = 90

Deflection

Defl. (dl) = 1.28 mm @ 0.50 m Allowable 3.333 mm ...O.K.
 Defl. (live load) = 1.03 mm @ 0.50 m Allowable 2.778 mm ...O.K.

TOTAL L/ 432.7

Adopt: 90 X 45 MGP10

RESIWISE PTY LTD

BUILDING PERMIT WAYCO STRUCTURES PTY LTD

ISSUED 17/10/2023
 NUMBER CB6-L 57031-78809-43183855 STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS

Sheet

Date

24-Oct-22

Job No.

220742

RELEVANT BUILDING SURVEYOR

BEAM

Resiwise Pty Ltd

SPAN = 3.4 m

CANTILEVER = 1.5 m

W _{1DL} =>	Floor =	0 m x	1.00 kPa =	0.0
	Roof(u)=	0.9 m x	0.40 kPa =	0.4
	Roof(l) =	0 m x	0.40 kPa =	0.0
	Window/Wall =	0 m x	0.40 kPa =	0.0
	S.W. =			0.1
				0.5 KN/m

W _{1LL} =>	Floor =	0 m x	2.00 kPa =	0.0
	Roof(u)=	0.9 m x	0.53 kPa =	0.5
	Roof(l) =	0 m x	0.53 kPa =	0.0
				0.5 KN/m

W _{2DL} =>	Floor =	0 m x	1.00 kPa =	0.0
	Roof(u)=	0.9 m x	0.40 kPa =	0.4
	Roof(l) =	0 m x	0.40 kPa =	0.0
	Window/Wall =	0 m x	0.40 kPa =	0.0
	S.W. =			0.1
				0.5 KN/m

W _{2LL} =>	Floor =	0 m x	2.00 kPa =	0.0
	Roof(u)=	0.9 m x	0.53 kPa =	0.5
	Roof(l) =	0 m x	0.53 kPa =	0.0
				0.5 KN/m

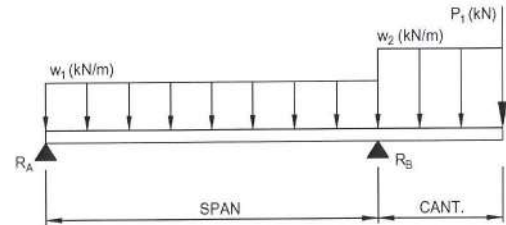
P _{1DL} =>	Floor =	0.5 kPa x	0.00 x	0.0	=	0.0
	Roof(u)=	0.4 kPa x	0.00 x	0.0	=	0.0
	Roof(l) =	0.9 kPa x	0.00 x	0.0	=	0.0
	Wall =	0.4 kPa x	0.00 x	0.0	=	0.0
	RB1 =					0.0 KN
						0.0

P _{1LL} =>	Floor =	1.5 kPa x	0.00 x	0.0	=	0.0
	Roof(u)=	0.25 kPa x	0.00 x	0.0	=	0.0
	Roof(l) =	0.25 kPa x	0.00 x	0.0	=	0.0
	RB1 =					0.0 KN
						0.0

M* _{cant.} =	1.48 KNm	k ₁ =	0.80
M* _{mid.} =	1.86 KNm	k ₁₂ =	0.80
φM =	2.22 KNm		...OK

ΔDL _{cant.} =	1.11	<	MAX-10mm		
ΔLL _{cant.} =	0.16	<	MAX-10mm	L/	1178

ΔDL _{mid.} =	6.22	<	MAX-10mm		
ΔLL _{mid.} =	3.22	<	MAX-10mm	L/	360



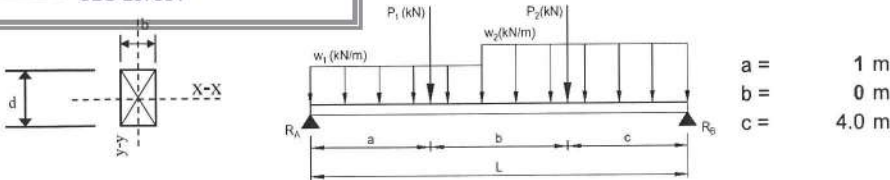
R _{ADL} =	0.6 KN	R _{BDL} =	1.7 KN
R _{ALL} =	0.7 KN	R _{BLL} =	1.7 KN
R _{A TOT} =	1.3 KN	R _{B TOT} =	3.4 KN

E =	10000
I _x =	25.7213 x10E6
Z =	270.75 x10E3
f _b =	16

Adopt	1	No	190	X	45	F17 KDHW
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RELEVANT BUILDING SURVEYOR
Member: **Resiwise Pty Ltd**
RB1
CBS-L57031

SPAN = 5.0 m Lateral restraint (Lay) = 2.0 m



a = 1 m
b = 0 m
c = 4.0 m

Uniform Distributed Loads:

	UDL, W1				UDL, W2			
	Start	0.00 m	End	5.00 m	Start	5.00 m	End	5.00 m
Dead Loads -								
Roofing -	0.20 kPa	1.20 m	=	0.24 kN/m	0.00 m	=	0.00 kN/m	
Stud Wall -	0.40 kPa	0.00 m	=	0.00 kN/m	0.00 m	=	0.00 kN/m	
Timber Floor -	0.70 kPa	0.00 m	=	0.00 kN/m	0.00 m	=	0.00 kN/m	
Misc-	1.20 kPa	0.00 m	=	0.00 kN/m	0.00 m	=	0.00 kN/m	
SWT -	0.10 kN/m			0.10 kN/m			0.10 kN/m	
Q1 =	0.5 kPa	0.00 m		0 kN/m	0.00 m		0 kN/m	
				Total DL = 0.34 kN/m			Total DL = 0.10 kN/m	
Live Loads -								
Roof -	0.42 kPa	1.20 m	=	0.50 kN/m	0.00 m	=	0.00 kN/m	
Floor 1 -	1.50 kPa	0.00 m	=	0.00 kN/m	0.00 m	=	0.00 kN/m	
Misc-	2.00 kPa	0.00 m	=	0.00 kN/m	0.00 m	=	0.00 kN/m	
				Total LL = 0.50 kN/m			Total LL = 0.00 kN/m	
				DL + LL = 0.84 kN/m			DL + LL = 0.10 kN/m	

Point Loading:

Dead Load -	0.0 kN	Dead Load -	0.00 kN
Live Load -	0.0 kN	Live Load -	0.00 kN
DL + LL =	0.0 kN	DL + LL =	0.0 kN

Reactions:

	Working	Ultimate
Ra DL =	0.9 kN	1.1 kN
Ra LL =	1.3 kN	1.9 kN
Ra TL =	2.1 kN	3.0 kN

	Working	Ultimate
Rb DL =	0.9 kN	1.1 kN
Rb LL =	1.3 kN	1.9 kN
Rb TL =	2.1 kN	3.0 kN

Timber Beam Design:

Strength limit states

Permanent Term phi = 0.80 k₁ = 0.57
M* = 1.33 kNm @ 2.50 m V* = 2.32 kN
ΦM = 3.95 kNm ...O.K. ΦV = 20.90 kN ...O.K.

Short Term phi = 0.8 k₁ = 0.94
M* = 3.64 kNm @ 2.50 m V* = 2.95 kN
ΦM = 6.52 kNm ...O.K. ΦV = 34.46 kN ...O.K.

Deflection

Defl. (dl) = 10.76 mm @ 2.50 m Allowable 12 mm ...O.K.
Defl. (live load) = 7.97 mm @ 2.50 m Allowable 9 mm ...O.K.

Factors	Section Properties
k ₄ = 1.00	E _{xx} = 10000
k ₆ = 1.00	I _{xx} = 51.44
k ₉ = 1.00	Z _{xx} = 541.5
k ₁₁ = 1.00	j ₂ = 2
k ₁₂ = 1.00	f _b = 16
no. 2	f _s = 4
	b = 45
	d = 190

TOTAL L/ 266.9

Adopt: 2/190 X 45 MGP10

EXISTING AGRICULTURAL BUILDING

28 MORBEY ROAD, GEMBROOK

GENERAL LOADS

The design live loading levels are as follows:

- Live - General floor loading = 3.0kPa
- Partial floor loading = 3.0kPa
- Roof loading = 0.25 kPa
- Wind loading = AS
- Seismic loading = NZ

GENERAL NOTES

- G1. These drawings shall be in accordance with all other project drawings and all other conditions, drawings and specifications and with all other applicable codes of practice and standards in force at the time of issue.
- G2. The design of any new structure shall be in accordance with all applicable codes of practice and standards in force at the time of issue.
- G3. The design of any new structure shall be in accordance with all applicable codes of practice and standards in force at the time of issue.
- G4. The design of any new structure shall be in accordance with all applicable codes of practice and standards in force at the time of issue.
- G5. The design of any new structure shall be in accordance with all applicable codes of practice and standards in force at the time of issue.
- G6. The design of any new structure shall be in accordance with all applicable codes of practice and standards in force at the time of issue.
- G7. The design of any new structure shall be in accordance with all applicable codes of practice and standards in force at the time of issue.
- G8. The design of any new structure shall be in accordance with all applicable codes of practice and standards in force at the time of issue.

SITE WORKS AND MAINTENANCE

- W1. Adequate drainage shall be provided to prevent ground water from rising to the level of the ground surface.
- W2. The ground surface shall be graded to prevent water from pooling on the ground surface.
- W3. The ground surface shall be graded to prevent water from pooling on the ground surface.
- W4. The ground surface shall be graded to prevent water from pooling on the ground surface.
- W5. The ground surface shall be graded to prevent water from pooling on the ground surface.
- W6. The ground surface shall be graded to prevent water from pooling on the ground surface.
- W7. The ground surface shall be graded to prevent water from pooling on the ground surface.
- W8. The ground surface shall be graded to prevent water from pooling on the ground surface.
- W9. The ground surface shall be graded to prevent water from pooling on the ground surface.

FOUNDATIONS

- F1. Foundations shall be designed to support the loads imposed by the building.
- F2. Foundations shall be designed to support the loads imposed by the building.
- F3. Foundations shall be designed to support the loads imposed by the building.
- F4. Foundations shall be designed to support the loads imposed by the building.
- F5. Foundations shall be designed to support the loads imposed by the building.
- F6. Foundations shall be designed to support the loads imposed by the building.
- F7. Foundations shall be designed to support the loads imposed by the building.
- F8. Foundations shall be designed to support the loads imposed by the building.
- F9. Foundations shall be designed to support the loads imposed by the building.

CONCRETE

- C1. All concrete shall be in accordance with AS3600.
- C2. All concrete shall be in accordance with AS3600.
- C3. All concrete shall be in accordance with AS3600.
- C4. All concrete shall be in accordance with AS3600.
- C5. All concrete shall be in accordance with AS3600.
- C6. All concrete shall be in accordance with AS3600.
- C7. All concrete shall be in accordance with AS3600.
- C8. All concrete shall be in accordance with AS3600.

MASONRY

- M1. All masonry shall be in accordance with AS4570.
- M2. All masonry shall be in accordance with AS4570.
- M3. All masonry shall be in accordance with AS4570.
- M4. All masonry shall be in accordance with AS4570.
- M5. All masonry shall be in accordance with AS4570.
- M6. All masonry shall be in accordance with AS4570.
- M7. All masonry shall be in accordance with AS4570.
- M8. All masonry shall be in accordance with AS4570.
- M9. All masonry shall be in accordance with AS4570.
- M10. All masonry shall be in accordance with AS4570.

STEELWORK

- S1. All steelwork shall be in accordance with AS4100.
- S2. All steelwork shall be in accordance with AS4100.
- S3. All steelwork shall be in accordance with AS4100.
- S4. All steelwork shall be in accordance with AS4100.
- S5. All steelwork shall be in accordance with AS4100.
- S6. All steelwork shall be in accordance with AS4100.
- S7. All steelwork shall be in accordance with AS4100.
- S8. All steelwork shall be in accordance with AS4100.
- S9. All steelwork shall be in accordance with AS4100.
- S10. All steelwork shall be in accordance with AS4100.

SLAB ON GROUND

- SG1. All slabs on ground shall be in accordance with AS2870.
- SG2. All slabs on ground shall be in accordance with AS2870.
- SG3. All slabs on ground shall be in accordance with AS2870.
- SG4. All slabs on ground shall be in accordance with AS2870.
- SG5. All slabs on ground shall be in accordance with AS2870.
- SG6. All slabs on ground shall be in accordance with AS2870.
- SG7. All slabs on ground shall be in accordance with AS2870.
- SG8. All slabs on ground shall be in accordance with AS2870.
- SG9. All slabs on ground shall be in accordance with AS2870.
- SG10. All slabs on ground shall be in accordance with AS2870.

MAINTENANCE

- MNT1. All maintenance shall be in accordance with AS1720.
- MNT2. All maintenance shall be in accordance with AS1720.
- MNT3. All maintenance shall be in accordance with AS1720.
- MNT4. All maintenance shall be in accordance with AS1720.
- MNT5. All maintenance shall be in accordance with AS1720.
- MNT6. All maintenance shall be in accordance with AS1720.
- MNT7. All maintenance shall be in accordance with AS1720.
- MNT8. All maintenance shall be in accordance with AS1720.
- MNT9. All maintenance shall be in accordance with AS1720.
- MNT10. All maintenance shall be in accordance with AS1720.

ROOFING

- R1. All roofing shall be in accordance with AS4580.
- R2. All roofing shall be in accordance with AS4580.
- R3. All roofing shall be in accordance with AS4580.
- R4. All roofing shall be in accordance with AS4580.
- R5. All roofing shall be in accordance with AS4580.
- R6. All roofing shall be in accordance with AS4580.
- R7. All roofing shall be in accordance with AS4580.
- R8. All roofing shall be in accordance with AS4580.
- R9. All roofing shall be in accordance with AS4580.
- R10. All roofing shall be in accordance with AS4580.

STEELWORK

- S1. All steelwork shall be in accordance with AS4100.
- S2. All steelwork shall be in accordance with AS4100.
- S3. All steelwork shall be in accordance with AS4100.
- S4. All steelwork shall be in accordance with AS4100.
- S5. All steelwork shall be in accordance with AS4100.
- S6. All steelwork shall be in accordance with AS4100.
- S7. All steelwork shall be in accordance with AS4100.
- S8. All steelwork shall be in accordance with AS4100.
- S9. All steelwork shall be in accordance with AS4100.
- S10. All steelwork shall be in accordance with AS4100.

WOODWORK

- W1. All woodwork shall be in accordance with AS1610.
- W2. All woodwork shall be in accordance with AS1610.
- W3. All woodwork shall be in accordance with AS1610.
- W4. All woodwork shall be in accordance with AS1610.
- W5. All woodwork shall be in accordance with AS1610.
- W6. All woodwork shall be in accordance with AS1610.
- W7. All woodwork shall be in accordance with AS1610.
- W8. All woodwork shall be in accordance with AS1610.
- W9. All woodwork shall be in accordance with AS1610.
- W10. All woodwork shall be in accordance with AS1610.

GLASS

- G1. All glass shall be in accordance with AS1288.
- G2. All glass shall be in accordance with AS1288.
- G3. All glass shall be in accordance with AS1288.
- G4. All glass shall be in accordance with AS1288.
- G5. All glass shall be in accordance with AS1288.
- G6. All glass shall be in accordance with AS1288.
- G7. All glass shall be in accordance with AS1288.
- G8. All glass shall be in accordance with AS1288.
- G9. All glass shall be in accordance with AS1288.
- G10. All glass shall be in accordance with AS1288.

DWG No.	REV No.	DRAWING TITLE
S01	C	GENERAL NOTES
S02	B	FOOTING AND SUB-FLOOR FRAMING PLAN
S03	B	ROOF FRAMING PLAN

DATE	BY	CHECKED	APPROVED	SCALE	1:100	1:50	1:20	1:10

North arrow pointing towards the top right of the page.

Scale bar showing 0, 1, 2, 3, 4, 5, 6, 7, 8 units.

CONSTRUCTION ISSUE

2 0 1 0 1 2 3 4 5 6 7 8

Reduced (at 1/10) - 2 x SCALE

DRAWINGS REGISTER	
DWG No.	REV No.
S01	C
S02	B
S03	B

VAYCO PTY LTD

PROJECT: EXISTING AGRICULTURAL BUILDING
28 MORBEY ROAD, GEMBROOK

CLIENT: RM DESIGNS GENERAL NOTES

DRAWING No. S01

REV: 1 OF 3

SCALE: 1:100, 1:50 @ A1

DATE: JULY 2017

PROTECTIVE COATINGS FOR STEELWORK

Environment	Location	Minimum Protective Coating
MODERATE	EXTERNAL	Options 1: 2 coats 40µm primer or 2 coats 80µm primer Options 2: 1 coat 100µm primer or 1 coat 200µm primer Options 3: 1 coat 160µm primer or 1 coat 240µm primer Options 4: 1 coat 200µm primer or 1 coat 240µm primer Options 5: 1 coat 240µm primer or 1 coat 240µm primer
SEVERE	INTERNAL	Options 1: 2 coats 40µm primer or 2 coats 80µm primer Options 2: 1 coat 100µm primer or 1 coat 200µm primer Options 3: 1 coat 160µm primer or 1 coat 240µm primer Options 4: 1 coat 200µm primer or 1 coat 240µm primer Options 5: 1 coat 240µm primer or 1 coat 240µm primer
VERY SEVERE	EXTERNAL	Options 1: 2 coats 40µm primer or 2 coats 80µm primer Options 2: 1 coat 100µm primer or 1 coat 200µm primer Options 3: 1 coat 160µm primer or 1 coat 240µm primer Options 4: 1 coat 200µm primer or 1 coat 240µm primer Options 5: 1 coat 240µm primer or 1 coat 240µm primer
EXTREMELY SEVERE	INTERNAL	Options 1: 2 coats 40µm primer or 2 coats 80µm primer Options 2: 1 coat 100µm primer or 1 coat 200µm primer Options 3: 1 coat 160µm primer or 1 coat 240µm primer Options 4: 1 coat 200µm primer or 1 coat 240µm primer Options 5: 1 coat 240µm primer or 1 coat 240µm primer

ROOFING

R1. All roofing shall be in accordance with AS4580.

R2. All roofing shall be in accordance with AS4580.

R3. All roofing shall be in accordance with AS4580.

R4. All roofing shall be in accordance with AS4580.

R5. All roofing shall be in accordance with AS4580.

R6. All roofing shall be in accordance with AS4580.

R7. All roofing shall be in accordance with AS4580.

R8. All roofing shall be in accordance with AS4580.

R9. All roofing shall be in accordance with AS4580.

R10. All roofing shall be in accordance with AS4580.

WOODWORK

W1. All woodwork shall be in accordance with AS1610.

W2. All woodwork shall be in accordance with AS1610.

W3. All woodwork shall be in accordance with AS1610.

W4. All woodwork shall be in accordance with AS1610.

W5. All woodwork shall be in accordance with AS1610.

W6. All woodwork shall be in accordance with AS1610.

W7. All woodwork shall be in accordance with AS1610.

W8. All woodwork shall be in accordance with AS1610.

W9. All woodwork shall be in accordance with AS1610.

W10. All woodwork shall be in accordance with AS1610.

GLASS

G1. All glass shall be in accordance with AS1288.

G2. All glass shall be in accordance with AS1288.

G3. All glass shall be in accordance with AS1288.

G4. All glass shall be in accordance with AS1288.

G5. All glass shall be in accordance with AS1288.

G6. All glass shall be in accordance with AS1288.

G7. All glass shall be in accordance with AS1288.

G8. All glass shall be in accordance with AS1288.

G9. All glass shall be in accordance with AS1288.

G10. All glass shall be in accordance with AS1288.

SLAB ON GROUND

SG1. All slabs on ground shall be in accordance with AS2870.

SG2. All slabs on ground shall be in accordance with AS2870.

SG3. All slabs on ground shall be in accordance with AS2870.

SG4. All slabs on ground shall be in accordance with AS2870.

SG5. All slabs on ground shall be in accordance with AS2870.

SG6. All slabs on ground shall be in accordance with AS2870.

SG7. All slabs on ground shall be in accordance with AS2870.

SG8. All slabs on ground shall be in accordance with AS2870.

SG9. All slabs on ground shall be in accordance with AS2870.

SG10. All slabs on ground shall be in accordance with AS2870.

MAINTENANCE

MNT1. All maintenance shall be in accordance with AS1720.

MNT2. All maintenance shall be in accordance with AS1720.

MNT3. All maintenance shall be in accordance with AS1720.

MNT4. All maintenance shall be in accordance with AS1720.

MNT5. All maintenance shall be in accordance with AS1720.

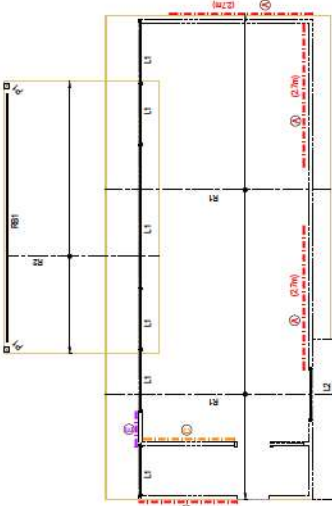
MNT6. All maintenance shall be in accordance with AS1720.

MNT7. All maintenance shall be in accordance with AS1720.

MNT8. All maintenance shall be in accordance with AS1720.

MNT9. All maintenance shall be in accordance with AS1720.

MNT10. All maintenance shall be in accordance with AS1720.



ROOF FRAMING PLAN

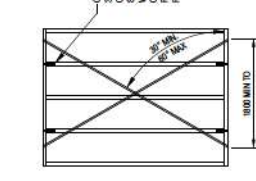
SCALE: 1:50

MARK	SIZE (MINIMUM)	REMARKS
PT	40 x 100 (7 FINE)	H3 TREATED
RBI	210 x 45 (MSP19)	H3 TREATED WALL LAMINATED
L1	90 x 45 (MSP19)	LINTEL
L2	90 x 45 (MSP19)	LINTEL
R1	90 x 45 (MSP19) AT 1000 CTS	H3 TREATED
R2	90 x 45 (MSP19) AT 1000 CTS	H3 TREATED

FRAMING MEMBER SCHEDULE

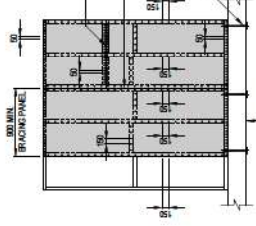
EXTERNAL STEELWORK
 ALL STEELWORK INCLUDING GLEATS, BOLTS, WASHERS, ETC. EXPOSED TO THE WEATHER SHALL BE HOT-DIP GALVANIZED.

EXTERNAL TIMBER
 ALL EXTERNAL TIMBER IS TO BE MINIMUM H3 TREATED U.N.O. ALL IN-GROUND TIMBER IS TO BE MINIMUM H4 TREATED U.N.O. ALTERNATIVELY PROTECT WITH A SUITABLE COATING TO ACHIEVE THE ABOVE.



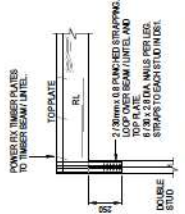
METAL TENSION STRAP BRACING
 1. HOLOGS OMITTED FOR CLARITY.
 2. REFER AS 18A FOR STRAP CONNECTION DETAILS.

TYPE-A WALL BRACING
 SHOWN IN SPECIFIC CONDITIONS ONLY. ALL OTHER BRACING TO BE IN ACCORDANCE WITH AS 184.
 METAL STRAP CROSS BRACING.
 ALL BRACING TO BE SPANNED ON VERTICAL STRIPS Nailed TO PLATES WITH 4.0 x 42mm DIA. GALV. FLATHEAD NAILS TO EACH END.
 (1800mm MIN. TO 2700mm MAX. WIDTH).
 CROSS BRACING TO BE 100mm MIN. TO 150mm MAX. WIDTH. 15 x 60mm STAP DEVELOPED OVER EACH END AND 100mm MIN. TO 150mm MAX. EACH END.
 REFER AS 18A FOR CONNECTION DETAILS.
 REFER AS 18A FOR ADDITIONAL SPECIFICATIONS.

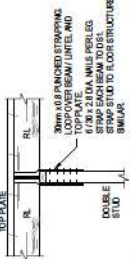


PLYWOOD BRACING
 1. PANEL EDGES SHALL BE SUPPORTED BY STUDS.
 2. HOLOGS HAVE BEEN OMITTED FOR CLARITY.

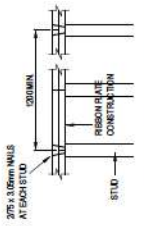
TYPE-C WALL BRACING
 (AS PER 2.2.2 TABLE 2.1.1.1 METHOD B)
 SHOWN IN SPECIFIC CONDITIONS ONLY. ALL OTHER BRACING TO BE IN ACCORDANCE WITH AS 184.
 ALL BRACING TO BE SPANNED ON VERTICAL STRIPS Nailed TO PLATES WITH 4.0 x 42mm DIA. GALV. FLATHEAD NAILS TO EACH END.
 AND AT 100mm CTS. TO VERTICAL EDGES. AND AT 150mm CTS. TO INTERNAL STUDS.
 ALL BRACING TO PERMETER WALLS TO BE INSTALLED ON THE OUTSIDE FACE.



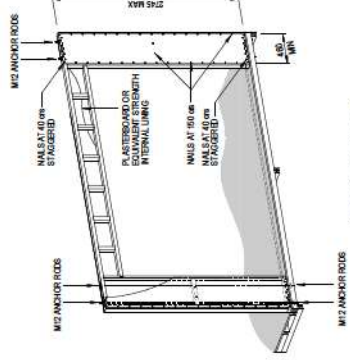
TYPICAL TIE DOWN TO DOUBLE STUD CONNECTION DETAIL
 TI E DOWN TO THREE STUDS IS SIMILAR.



TYPICAL TIE DOWN TO DOUBLE STUD CONNECTION DETAIL
 TI E DOWN TO THREE STUDS IS SIMILAR.



TYPICAL TOP PLATE JOINING DETAIL
 SCALE: 1:20.



TYPE B WALL BRACING
 4.0mm THICK H300x60x10 WITH M12 RODS 60 MIN. CAPACITY (REFER AS 18A.2). ALL BRACING TO PERMETER WALLS TO BE INSTALLED ON THE OUTSIDE FACE.

- STRUCTURAL NOTES**
- REFER TO ARCHITECTURAL DRAWINGS AND AS 184 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION FOR SIZES OF JOIST FRAMING MEMBERS AND CONNECTIONS.
 - LINTELS AND ROOF BRACING TO BE IN ACCORDANCE WITH AS 184 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION.
 - PROVIDE WALL AND ROOF BRACING AND TIE DOWNS IN ACCORDANCE WITH AS 184 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION.
 - ALL EXPOSED STEELWORK IS TO BE HOT-DIP GALVANIZED.
 - OPEN WEB FLOOR JOISTS ARE TO BE BRACED AND STRUCKBACK IN ACCORDANCE WITH THE JOIST MANUFACTURERS SPECIFICATION.
 - ALL TIMBER TO TIMBER CONNECTIONS ARE TO BE WITH PERIOD PROTECTION UNLESS OTHERWISE STATED. MANUFACTURERS SPECIFICATION UNLESS OTHERWISE STATED.
 - ALL LINTELS, FLOOR AND ROOF BEAMAHEAD TO HAVE 2 No. 45 x 45 (MSP19) AND 1 No. 45 x 45 (MSP19) STRAP TO EACH BEAM TO DIS. AND AT 100mm CTS.
 - TIMBER ROOF TRUSSES TO MANUFACTURERS SPECIFICATION INCLUDING ALL BRACING AND HOLD DOWN SPECIFICATION.
 - CONNECTIONS TO BE IN ACCORDANCE WITH AS 184 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION.
 - CONNECTIONS TO BE IN ACCORDANCE WITH AS 184 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION.
 - JOISTS (WHERE APPLICABLE) TO BE KEPT SECURELY Nailed TO TOP PLATE (WHERE APPLICABLE) AND TO BE KEPT SECURELY Nailed TO TOP PLATE (WHERE APPLICABLE).
 - NOTE: ALL LINTELS TO BE Nailed TO BEAM/LINTEL AND ROOF MEMBERS OVER TYPICAL.

- STUD WALL FRAMING SPECIFICATION**
- UPPER FLOOR LOAD BEARING WALLS, PERIMETER PARTY WALLS 90 x 45 (MSP19) STUD AT 400 MAX. CTS. MAX. STUD HEIGHT 2000 x 2000. ALL STUDS TO BE KEPT SECURELY Nailed TO TOP PLATE (WHERE APPLICABLE) AND TO BE KEPT SECURELY Nailed TO TOP PLATE (WHERE APPLICABLE).
- SINGLE COLUMN ROOF LOAD BEARING WALLS, PERIMETER PARTY WALLS 90 x 45 (MSP19) STUD AT 400 MAX. CTS. MAX. STUD HEIGHT 2000 x 2000. ALL STUDS TO BE KEPT SECURELY Nailed TO TOP PLATE (WHERE APPLICABLE) AND TO BE KEPT SECURELY Nailed TO TOP PLATE (WHERE APPLICABLE).

- ROOF TRUSS NOTE**
- ROOF TRUSSES TO MANUFACTURERS DESIGN & SPECIFICATION. A COPY OF SHEET DRAWINGS TO BE PROVIDED TO ENGINEER. ALL BRACING TO BE SPANNED ON VERTICAL STRIPS Nailed TO PLATES WITH 4.0 x 42mm DIA. GALV. FLATHEAD NAILS TO EACH END. AND AT 100mm CTS. TO VERTICAL EDGES. AND AT 150mm CTS. TO INTERNAL STUDS. ALL BRACING TO PERMETER WALLS TO BE INSTALLED ON THE OUTSIDE FACE.
- NOTE: PROVIDE CONNECTIONS TO BE IN ACCORDANCE WITH AS 184.

CONSTRUCTION ISSUE

2 1 0 1 0 1 2 3 4 5 6 7 8
 Released (at 10:31 - 2:1 SCALE)

VAYCO PTY LTD
 STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS
 201 OF MORREY ROAD, GEMEROOK VIC 3646
 PHONE: 03 5297 1000 FAX: 03 5297 1010
 Email: info@vayco.com.au

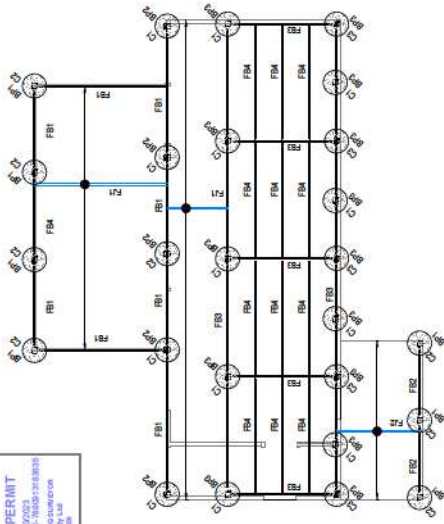
CLIENT
 RM DESIGNS
 DRAWING
 ROOF FRAMING PLAN

PROJECT
 EXISTING AGRICULTURAL BUILDING
 28 MORREY ROAD
 GEMEROOK

DESIGN No. S03
DATE 1 JULY 2023
SCALE 1:50 (L3 @ A1)
REV B
3 OF 3

DESIGNER BK
DRAWN JY
CHECKED JY
APPROVED JY

DATE JULY 2023

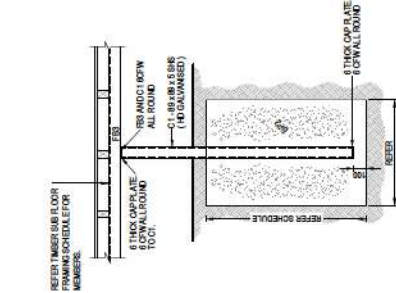


FOOTING AND SUBFLOOR FRAMING PLAN
 SCALE 1:30

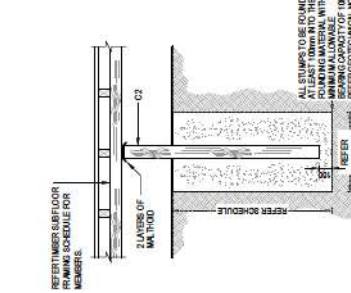
GEOTECHNICAL NOTE
 ALL FOOTINGS ARE TO BE FOUNDED AT LEAST 100mm INTO THE NATURAL FOUNDING MATERIAL WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 100 kPa.

FOOTING TYPE	BP1	BP2	BP3
WIDTH MINIMUM	400 DIA.	600 DIA.	600 DIA.
DEPTH MINIMUM	800	1300	1300
REINFORCEMENT	MASS CONCRETE	MASS CONCRETE	MASS CONCRETE
CONCRETE STRENGTH _{f_c}	25 MPa	25 MPa	25 MPa

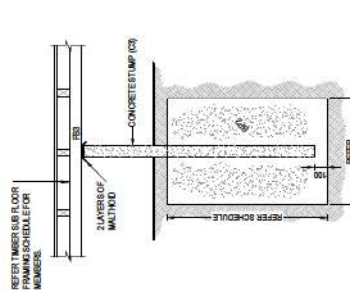
MARK	SIZE (MINIMUM)	REMARKS
C1	90 x 90 x 900	STEEL COLUMN
C2	100 x 100 x 700	TIMBER COLUMN (TREATED)
C3	100 x 100 CONCRETE STUMP	
FBI	2 x 100 x 457 TP	
FBS	2 x 100 x 457 TP	
FBI	2 x 100 x 457 TP	
FBI	2 x 100 x 457 TP	
F1	90 x 457 TP FLOOR JOBS AT 400 CTS. MAX.	
F2	90 x 457 TP FLOOR JOBS AT 400 CTS. MAX.	



TYPICAL STEEL STUMP FOOTING DETAILS
 SCALE 1:30



TYPICAL TIMBER STUMP FOOTING DETAILS
 SCALE 1:30



TYPICAL CONCRETE STUMP FOOTING DETAILS
 SCALE 1:30

NOTE
 THESE DRAWINGS TO BE READ IN CONJUNCTION WITH CIVIL AND SERVICES DRAWINGS AS REQUIRED.

NOTE
 STABILITY OF THE STRUCTURE DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE BUILDER.

CONSTRUCTION ISSUE

2 0 1 0 5 0 1 2 3 4 5 6 7 8
 Reduced Plot - A1 (A3) - 2 x SCALE

VAYCO PTY LTD
 STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS
 204 OF MORREY ROAD, MORREY BROOK VIC 3106
 PHONE: 03 9504 1000 FAX: 03 9504 1010
 WWW.VAYCOPTV.COM.AU

CLIENT
 RVM DESIGNS

PROJECT
 EXISTING AGRICULTURAL BUILDING
 28 MORREY ROAD
 GEMSBROOK

DRAWING NO.
 S02

REV. NO.
 220742

DATE
 JULY 2023

SCALE
 1:30 (30 @ A1)

REV.
 B

OF
 2 OF 3

DESCRIPTION
 FOUNDATION DESIGN

APPROVED BY
 [Signature]

DATE
 [Date]

EXISTING AGRICULTURAL BUILDING
28 MORBEY ROAD, GEMSBROOK

GENERAL LOADS

The design live loads (working loads) are as follows:
Live - General floor loading = 3.0kPa
Plant room floor loading = 3.0kPa

- Roof loading = 0.25 kPa
Wind loading = AS
Self-weight = NZ
Miscellaneous = NZ

GENERAL NOTES

- G1. These drawings shall be read in conjunction with all other project documents...
G2. This information is provided on these drawings in addition to the contract documents...
G3. The contractor shall be responsible for obtaining all necessary permits...

STEELWORK

- S1. Connection plates of members shall be as follows:
S2. All members shall be in accordance with AS2300.
S3. All members shall be in accordance with AS3600.
S4. All members shall be in accordance with AS4100.

MASONRY

- M1. All masonry walls shall be in accordance with AS2300.
M2. All masonry walls shall be in accordance with AS3600.
M3. All masonry walls shall be in accordance with AS4100.

TIMBER

- T1. Timber shall be in accordance with AS1720.
T2. Timber shall be in accordance with AS1721.
T3. Timber shall be in accordance with AS1722.

PROTECTIVE COATINGS FOR STEELWORK

Table with 4 columns: Environment, Location, Minimum Protective Coating, and Notes. Rows include Moderate, Severe, and Very Severe environments for External and Internal steelwork.

CONCRETE

- C1. All masonry and concrete shall be in accordance with AS2300.
C2. All concrete shall be in accordance with AS3600.
C3. All concrete shall be in accordance with AS4100.

Table with 4 columns: Element, Reinforcement, Embedment, and Other. Lists various concrete elements like Slabs, Columns, and Foundations.

PAINTS

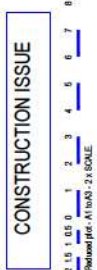
- P1. All paint systems shall be in accordance with AS2627.
P2. All paint systems shall be in accordance with AS2628.
P3. All paint systems shall be in accordance with AS2629.

GLASS

- G1. All glass shall be in accordance with AS2284.
G2. All glass shall be in accordance with AS2285.
G3. All glass shall be in accordance with AS2286.

Table with 2 columns: DWG No. and REV No. listing drawings S01, S02, S03 and their revision details.

Table with 2 columns: DWG No. and REV No. listing drawings R01, R02, R03 and their revision details.



VAYCO PTY LTD logo and contact information including address, phone, and email.

Table with 2 columns: DWG No. and REV No. listing drawings S01 and R01 with revision details.

CONSTRUCTION ISSUE. Includes project details: EXISTING AGRICULTURAL BUILDING, 28 MORBEY ROAD, GEMSBROOK. Issued 2024, Issue 1.0 of 3.

SITE WORKS AND MAINTENANCE

- W1. All site works shall be in accordance with AS4576.
W2. All site works shall be in accordance with AS4577.
W3. All site works shall be in accordance with AS4578.

FOUNDATIONS

- F1. Foundations shall be in accordance with AS2870.
F2. Foundations shall be in accordance with AS2871.
F3. Foundations shall be in accordance with AS2872.

- F4. Foundations shall be in accordance with AS2873.
F5. Foundations shall be in accordance with AS2874.
F6. Foundations shall be in accordance with AS2875.

- F7. Foundations shall be in accordance with AS2876.
F8. Foundations shall be in accordance with AS2877.
F9. Foundations shall be in accordance with AS2878.

- F10. Foundations shall be in accordance with AS2879.
F11. Foundations shall be in accordance with AS2880.
F12. Foundations shall be in accordance with AS2881.

- F13. Foundations shall be in accordance with AS2882.
F14. Foundations shall be in accordance with AS2883.
F15. Foundations shall be in accordance with AS2884.

- F16. Foundations shall be in accordance with AS2885.
F17. Foundations shall be in accordance with AS2886.
F18. Foundations shall be in accordance with AS2887.

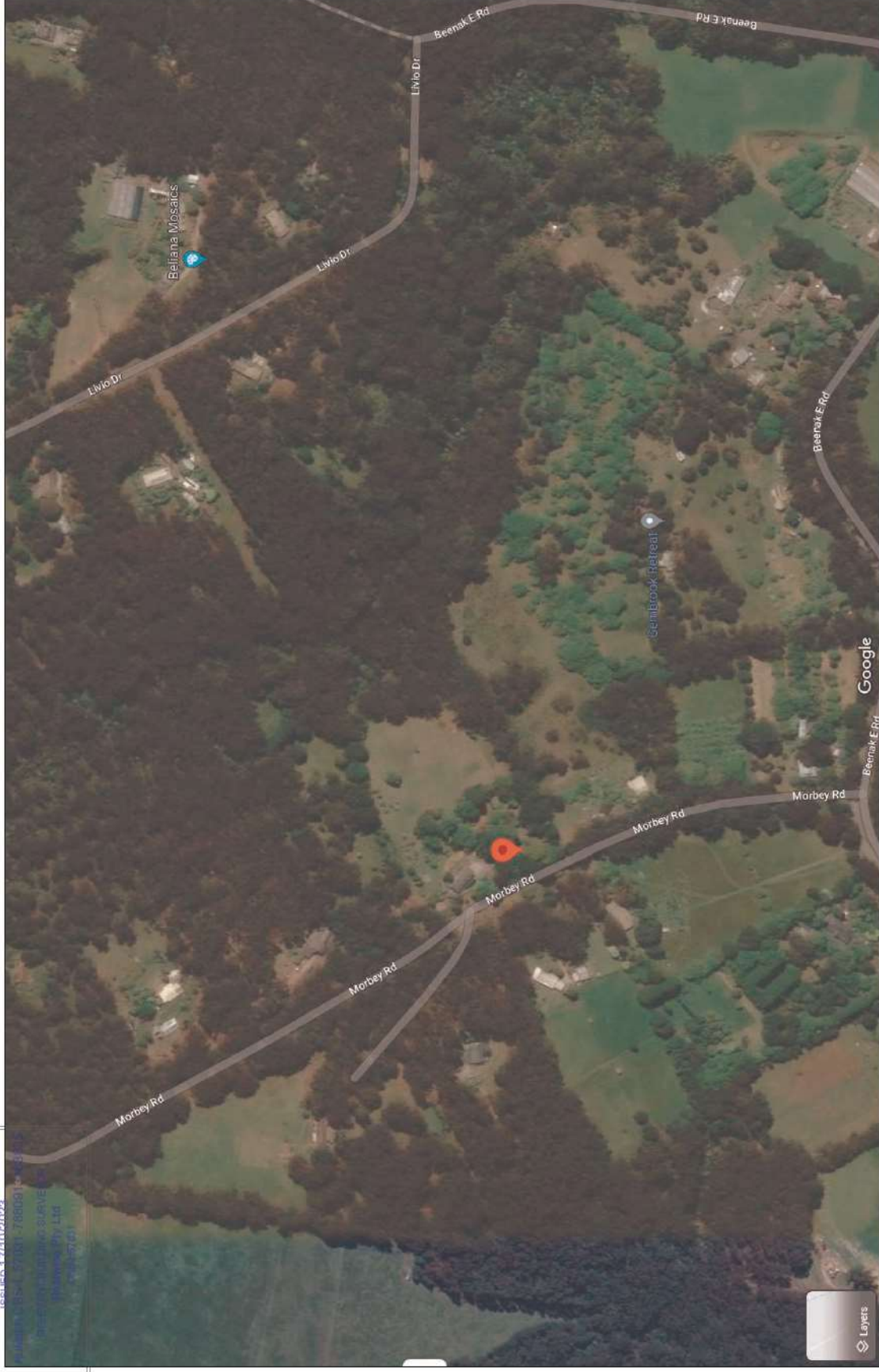
- F19. Foundations shall be in accordance with AS2888.
F20. Foundations shall be in accordance with AS2889.
F21. Foundations shall be in accordance with AS2890.

- F22. Foundations shall be in accordance with AS2891.
F23. Foundations shall be in accordance with AS2892.
F24. Foundations shall be in accordance with AS2893.

PROPOSED AGRICULTURAL BUILDING

RESURFACING PTY LTD
 28 MORBEY ROAD
 GEMBROOK
 VIC 3783
BUILDING PERMIT

17/03/2023 17:00:17
 7888001
 17/03/2023 17:00:17
 7888001



ABN: 83 780 933 979
 ORIGINAL DESIGN BY MAILO DRAFTING

GO DESIGN
 Drafting + Project Management

PHONE: 0415 201 081 or 0617 360 707
 EMAIL: info@go-design.com.au
 WEBSITE: www.go-design.com.au
 FACEBOOK: www.facebook.com/GoDesignAU
 INSTAGRAM: www.instagram.com/go-design-pty-ltd

THIS DOCUMENT PROVIDES INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION OR AS A BASIS FOR ANY OTHER ACTION. ALL INFORMATION IS SUBJECT TO CHANGE WITHOUT NOTICE.

GENERAL NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

CLIENT: REBECCA MCGLADE
 0430 660 313
 PROJECT NO: DC25005

PROJECT: PROPOSED AGRICULTURAL BUILDING
 PROJECT STATUS: CONSTRUCTION
 PROJECT ADDRESS: 28 MORBEY ROAD, GEMBROOK VIC 3783

SHEET: COVER PAGE
 DRAWN: A.00
 CHECKED: G
 REVISION: G
 SCALE: AS
 DATE: 17/03/2023

NO.	DESCRIPTION	DATE	BY
A	PRELIMINARY DRAWINGS (MAILO DRAFTING)	25.10.22	DM
B	DRAWING AMENDMENTS (MAILO DRAFTING)	08.11.22	DM
C	CERTIFIER ITEMS 01 (MAILO DRAFTING)	24.11.22	DM
D	CERTIFIER ITEMS 02 (MAILO DRAFTING)	07.12.22	DM
E	CERTIFIER ITEMS 03 (MAILO DRAFTING)	15.12.22	DM
F	CERTIFIER ITEMS 04 - GO DESIGN P/L	09.03.23	KD
G	CERTIFIER ITEMS 05 (PFE DETAILS) - GO DESIGN P/L	09.03.23	KD

SHEET NO.	DESCRIPTION
A.00	GENERAL NOTES
A.01	SITE PLAN - EXISTING
A.02	SITE PLAN - PROPOSED OVERALL
A.03	SITE - PROPOSED PLAN
A.04	PROPOSED FLOOR PLAN
A.05	PROPOSED ELEVATIONS
A.06	PROPOSED SECTION
A.07	PROPOSED WET AREA DETAILS
A.08	PROPOSED FIRE EXTINGUISHER DETAILS

THESE DRAWINGS ARE TO BE READ AND USED IN CONJUNCTION WITH SPECIFICATION, DETAILS, STRUCTURAL ENGINEERS AND OTHER CONSULTANTS DRAWINGS AND DOCUMENTATIONS, ENDORSED PLANNING DRAWINGS AND PERMITS IF AND AS APPLICABLE.

FIGURED DIMENSIONS MUST TAKE PREFERENCE OVER SCALING OF DRAWINGS

C.O.S. DENOTES CHECK ON SITE THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCING ANY WORKS OR ITEMS TO BE FABRICATED, WITH ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY.

ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE PRIOR TO THE START OF WORKS.

ISSUED 17/02/2023

NUMBER CBS-L 57031-7800913 183835

IT IS THE RESPONSIBILITY OF ALL PERSONS CONCERNED WITH THE PROJECT CONTAINED IN THESE DRAWINGS, TO NOTIFY THE REGISTERED BUILDING PRACTITIONER CONCERNED IN THE EVENT OF ALTERATIONS BEING REQUIRED OR DISCREPANCIES BEING FOUND - PRIOR TO WORKS BEING CARRIED OUT - AS NO RESPONSIBILITY CAN BE TAKEN FOR UNAUTHORIZED ALTERATION OR LACK OF BUILDERS SUPERVISION.

GROUND UNDER BUILDING TO BE GRADED TO THE OUTSIDE OF THE BUILDING. FINISHED SURFACE TO FALL AWAY FROM BUILDING MIN 1 IN 20 FOR A MIN. OF 100MM.

SOIL CLASSIFICATION:
ALL FOUNDATIONS SHALL BE PREPARED AND MAINTAINED IN ACCORDANCE TO A.S. 2870.1 AND/OR STRUCTURAL ENGINEER'S DESIGN, AS REQUIRED THEREIN, AND WHICH IS REFERRED TO IN THE SOIL INVESTIGATION REPORT.

STRUCTURAL ITEMS:
REFER TO STRUCTURAL DRAWINGS AND COMPUTATION FOR ALL SIZES AND DETAILING OF STRUCTURAL TIMBER, STEEL, AND CONCRETE ELEMENTS SUCH AS BEAMS, COLUMNS, SLABS, FOOTINGS, LIFELINES, HOLDING/DOWN DETAILS ETC. PROVIDE ALL HOLDING DOWN STRAPS, RODS, BOLTS ETC. AS REQUIRED TO BE BUILT INTO THE FRAME, BRICKWORK, STEEL WORK AND/OR CONCRETE. SARKING SHALL HAVE A FLAMMABILITY INDEX OF NOT MORE THAN FIVE WHERE REQUIRED.

BALUSTRADES:
BALUSTRADE TO HIGH DECKS OR TERRACES - WHERE A DECK EXCEEDS 4.0 M ABOVE GROUND LEVEL THE BALUSTRADE MUST BE NON-CUMBERABLE BETWEEN THE HEIGHTS OF 150 AND 750 MM ABOVE THAT DECK OR TERRACE. ALL BALUSTRADES TO BE A MINIMUM OF 1000 MM HIGH.

DOORS & EXTERNAL DOORS:
SHALL BE FITTED WITH WEATHER STRIPS OR DRAFT EXCLUDERS.
W.C. DOORS MUST BE REMOVABLE FROM THE OUTSIDE IF 1200 MM OR CLOSER TO THE PAN.

BRICKWORK CONTROL JOINTS:
A.J. - DENOTES ARTICULATION JOINTS. BUILDER MUST PROVIDE BRICK CONTROL JOINTS LOCATED TO COMPLY WITH RECOMMENDATIONS IN GEO-TECHNICAL SITE REPORT. (IF PREPARED) OTHERWISE IN ACCORDANCE WITH CEMENT AND CONCRETE ASSOC. NOTE: CNG - ARTICULATED WALLS. (SPECIFYING JOINTS AT 5.0 M CTRS.) AND/OR THE B.C.A. PROVIDE WEEP HOLES AT 900 MM MAX. CTS. WITH CONTINUOUS CAVITY FLASHINGS AT BASE OF CAVITY, ABOVE & BELOW OPENINGS.

INSULATION:
REFER TO ENERGY RATING ASSESSMENT REPORT.
SMOKE DETECTORS:
PROVIDE SMOKE DETECTORS LOCATED AND AS SHOWN ON PLAN, AS PER MANUFACTURERS' SPECIFICATIONS - TYPE 83 R1 MAINS CONNECTED. SMOKE ALARMS MUST COMPLY WITH AS 3786 AND BE HARDWIRED AND ALSO BE INTERLINKED WHERE MORE THAN ONE SMOKE ALARM IS INSTALLED.

SEWER DRAINAGE:
REFER TO HYDRAULICS DRAWINGS IF APPLICABLE AND/OR CONNECT TO DESIGNATED CONNECTION POINT IN ACCORDANCE TO THE REQUIREMENTS OF THE RELEVANT AUTHORITY AND ALL RELEVANT AUSTRALIAN STANDARDS AND CODES. SUB-CONTRACTOR TO PROVIDE A COMPLIANCE CERTIFICATE.

STORM WATER:
CONNECT S.W.D. 90MM DIA. UPVC OR AS OTHERWISE NOTED TO EXISTING S.W.D. SYSTEM AND/OR IF NEW INSTALLATION CONNECT TO LEGAL POINT OF DISCHARGE AS DESIGNATED BY THE LOCAL AUTHORITY. REFER TO CIVIL DRAWINGS IF APPLICABLE AND CONNECT AND LAY ALL DRAINS IN ACCORDANCE TO THE REQUIREMENTS OF THE RELEVANT AUTHORITY AND ALL RELEVANT AUSTRALIAN STANDARDS AND CODES. SUB-CONTRACTOR TO PROVIDE A COMPLIANCE CERTIFICATE.

OVERLOOKING:
IN ACCORDANCE WITH REG. 82, BUILD. REGS 2018 AS PART OF DECKS AND/OR TERRACES, WHERE FINISHED FLOOR LEVEL IS GREATER THAN 800 MM ABOVE GROUND LEVEL, PROVIDE TO A MIN. HEIGHT OF 1700 MM ABOVE THE DECK FLOOR. A TIMBER SLATED SCREEN WITH A MAX. OF 25% GAP IN ELEVATIONAL AREA, TO PREVENT OVERLOOKING INTO THE NEIGHBOURING PROPERTY, OR AS OUTLINED IN THE PLANNING PERMIT DRAWINGS IF APPLICABLE.

STAIR REQUIREMENTS:
RISERS: 190 MAX. - 115 MIN.
GOING: 355 MAX. - 240 MIN
RISERS & TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.
PROVIDE NON-SLIP FINISH: NOSING STRIP - P3 DRY / P4 WET PROVIDE CONTINUOUS HANDRAIL 1000 MM MIN HEIGHT TO BALCONIES & DECKS WHICH ARE 1000 MM OR MORE ABOVE FINISHED GROUND LEVEL.
MAX. OPENINGS BETWEEN BALUSTERS NOT TO EXCEED 125 MM
LANDINGS MUST BE A MINIMUM LENGTH OF 750MM MEASURED FROM THE INSIDE EDGE WHERE IT CHANGES DIRECTION. HANDRAIL TO EXTEND THE FULL LENGTH OF THE STAIR FLIGHT.

GLAZING:
ALL GLAZING PANELS TO 900 MM ABOVE F.F.L. TO BE SAFETY GLASS AS PER A.S. 1288. ALL OTHER GLAZING TO A.S. 1288.

SPECIFICATIONS:
IF A SPECIFICATION FORMS PART OF THESE CONTRACT DOCUMENTS, IT SHALL TAKE PRECEDENCE OVER AND ABOVE THESE GENERAL NOTES AS CONTAINED HEREIN IF & WHERE APPLICABLE.

STANDARDS:
ALL WORKS SHALL COMPLY BUT NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS AND THEIR RESPECTIVE MOST RECENT UPDATES AND AMENDMENTS AS APPLICABLE:

- A.S. 1884 - NATIONAL TIMBER FRAMING CODE
 - PART 2 NON-CYCLONIC AREAS
 - PART 3 CYCLONIC AREA
 - PART 4 SIMPLIFIED NON-CYCLONIC AREAS
- A.S. 2047 - WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION
- A.S. 1288 - GLASS IN BUILDINGS, SELECTION AND INSTALLATION
- A.S. 1962 - DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
 - PART 1 METAL
 - AMENDMENT 1
 - AMENDMENT 2
 - PART 10 CONSTRUCTION
 - AMENDMENT 1
 - AMENDMENT 2
 - AMENDMENT 3
 - AMENDMENT 4
- A.S. 2904 - DAMP PROOF COURSES AND FLASHINGS
- A.S. IN Z.S. 3013 - ELECTRICAL INSTALLATIONS

- A.S. 3700 - MASONRY IN BUILDINGS
 - AMENDMENT 1
 - AMENDMENT 2
- A.S. 3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
 - AMENDMENT 1
 - AMENDMENT 2
 - AMENDMENT 3
 - AMENDMENT 4
- A.S. 3786 - SMOKE ALARMS
 - AMENDMENT 1
 - AMENDMENT 2
 - AMENDMENT 3
 - AMENDMENT 4
- A.S. 1860 - CODE OF PRACTICE FOR THE INSTALLATION OF PARTICLEBOARD FLOORING
 - AMENDMENT 1
 - AMENDMENT 2
- A.S. 3660 - PROTECTION OF BUILDINGS FROM SUBTERRANEAN TERMITES
- A.S. 4256 - PLASTIC ROOF AND WALL CLADDING MATERIALS

GENERAL NOTES:
THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION. NOTIFY ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE ARCHITECT.
DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL BUILDING PERMIT HAS BEEN ISSUED. DO NOT SCALE DRAWINGS. ALL BOUNDARIES AND CONTOURS SUBJECT TO SURVEY.

BUILD ON BOUNDARY NOTE:
ROOF AND GUTTER ON THE BOUNDARY TO BE WITHIN THE SUBJECT PROPERTY. NO PART OF THE DWELLING TO ENCR OACH THE BOUNDARY LINE.

WALL ON BOUNDARY:
WALLS BUILT WITHIN 900mm OF THE BOUNDARY/PARTY WALLS MUST HAVE AN FRL OF NOT LESS THAN 60-60-60 WHEN TESTED FROM THE OUTSIDE IN ACCORDANCE WITH BCA 3.7.1.5 WITH BRICKWORK EXTENDING TO THE UNDERSIDE OF A NON-COMBUSTIBLE ROOF COVERING REFER FIGURE 3.7.1.3 (b).

DIMENSION NOTE:
PROPOSED DEVELOPMENT TO BE TAKEN FROM THE LESSER AREA WHERE THERE IS A DIFFERENCE BETWEEN THE TITLE BOUNDARY AND THE FENCE.

NOTE:
WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1. OF THE NCC.

REMOVABLE HINGE:
DOORS OPENING WITHIN 1200mm OF A WC PAN MUST BE PROVIDED WITH EASILY REMOVABLE OR LIFTOFF HINGES IN STRICT ACCORDANCE WITH THE BCA.

ENERGY RATING:
REFER TO ENERGY RATING REPORT.
NOTE:
THE REQUIREMENT FOR ALL NEW DWELLINGS IS TO BE A 6 STAR ENERGY RATING.

THRESHOLD:
THRESHOLD AROUND DOORWAY NOT TO EXCEED 230mm ABOVE THE ADJOINING SURFACE UNLESS INCORPORATE STEPS HAVING A RISER AND GOING DIMENSION IN ACCORDANCE WITH CLAUSE 3.9.1.2 OF THE NCC.

TERMITE PROTECTION:
TERMITE BARRIER SYSTEMS INSTALLED TO BE IN ACCORDANCE WITH AS 3660.1-2014.

WARNING BEWARE OF UNDERGROUND SERVICES
THE BUILDER IS TO DETERMINE EXACT LOCATIONS OF EXISTING UNDERGROUND SERVICES BEFORE COMMENCING CONSTRUCTION ON SITE.

NOTE:
MORTAR JOINT FOR BRICKWORK TO BE FLUSH.

TIMBER FRAMING SCHEDULE

MEMBER	SIZE	STRESS GRADE	MAX. SPACING	MAX SPAN SINGLE 2 OR MORE	REMARKS
STUDS	90 X 45	F5	450	2700	SOLID NOGGING @ 1200 CTRS. MAX
TOP PLATE	90 X 45	F5		450	UNTRENCHED
BOTTOM PLATES	90 X 45	F5		450	UNTRENCHED
JAMB STUDS	2/90 X 45	F5	450	2700	SOLID NOGGING @ 1200 CTRS. MAX
LINELS	140 X 45	F17	OPENING UP TO 1800		ALSO REFER TO ENG. COMPUTATIONS.
NOGGINGS	90 X 45	F5	1200		
BRACING	PRYDA SPEED BRACE & SHEET		BRACING AS PER AS1684		
CEILING JOISTS	90 X 35	F5	450		
BULKHEAD FRAMING	90 X 45	F5			

NOTE
ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH AS1684 AND THE ABOVE. PLEASE REFER TO STRUCTURAL ENGINEERING SPECIFICATIONS.

REFER TO STRUCTURAL DRAWINGS. IF DISCREPANCY IS FOUND, STRUCTURAL DRAWINGS TAKE PRECEDENCE



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 INSTAGRAM: www.instagram.com/go.design.au

CLIENT
REBECCA MCGLADE
rjmcglade@gmail.com
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PROJECT
PROPOSED AGRICULTURAL BUILDING

PROJECT STATUS
CONSTRUCTION

PROJECT ADDRESS
28 MORREY ROAD
GEMSBROOK
VIC 3783

PROJECT NO.
DC25065

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES AND LOCAL GOVERNMENT.
 2. ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE PRIOR TO THE START OF WORKS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES AND LOCAL GOVERNMENT.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES AND LOCAL GOVERNMENT.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES AND LOCAL GOVERNMENT.

SHEET
GENERAL NOTES

DRAWN BY
A.00

CHECKED BY
G

SCALE
AS

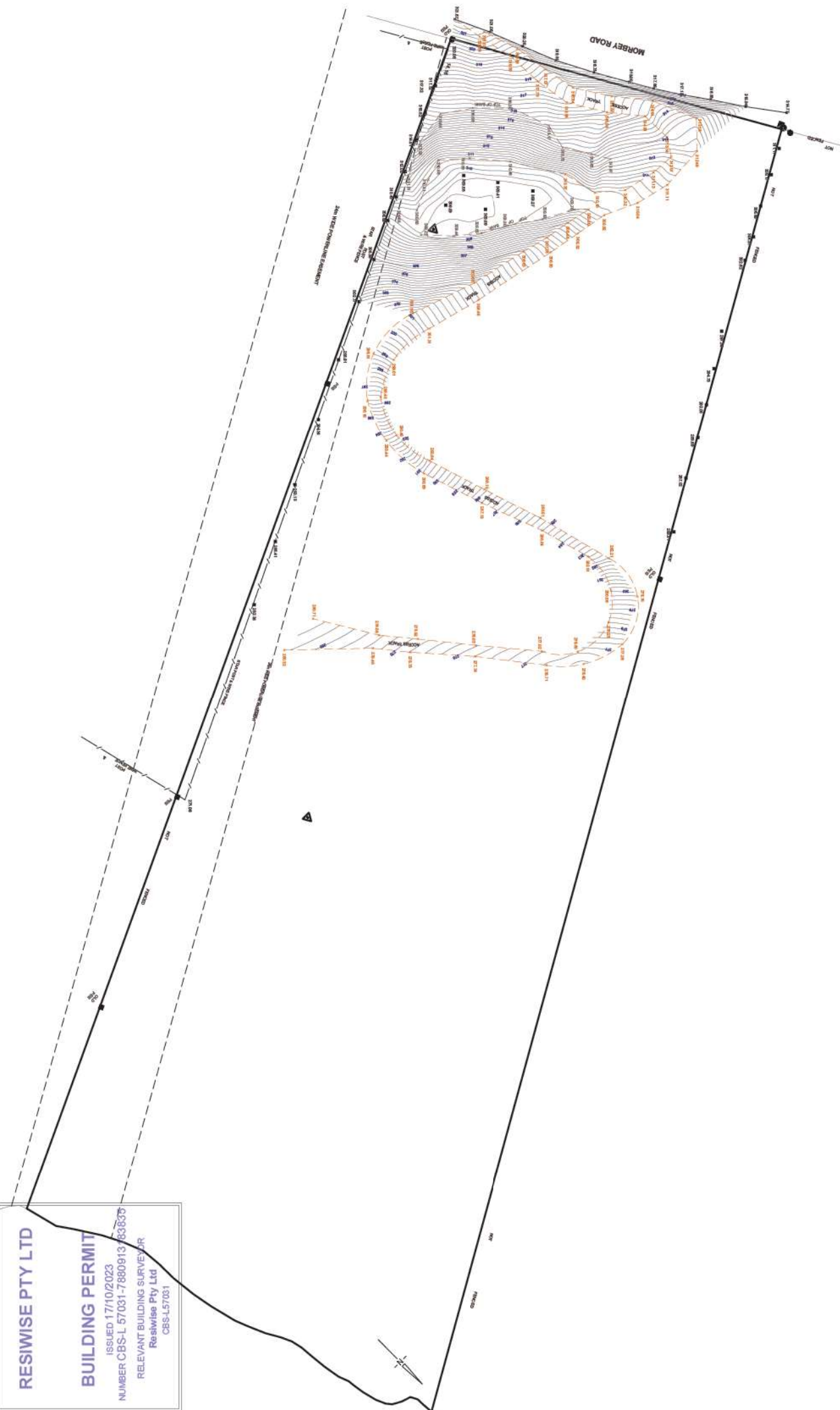
DATE
17/02/2023

NO.	DESCRIPTION	DATE	BY
A	PRELIMINARY DRAWINGS (M/A/O DRAFTING)	25.10.22	DM
B	DRAWING AMENDMENTS (M/A/O DRAFTING)	08.11.22	DM
C	CERTIFIER ITEMS 01 (M/A/O DRAFTING)	24.11.22	DM
D	CERTIFIER ITEMS 02 (M/A/O DRAFTING)	07.12.22	DM
E	CERTIFIER ITEMS 03 (M/A/O DRAFTING)	15.12.22	DM
F	CERTIFIER ITEMS 04 - GO DESIGN P/L	09.03.23	NO
G	CERTIFIER ITEMS 05 (PFE DETAILS) - GO DESIGN P/L	09.03.23	NO

RESIWISE PTY LTD

BUILDING PERMIT

ISSUED 17/10/2023
NUMBER CBS-L 57031-7880913-638335
RELEVANT BUILDING SURVEYOR
Resiwise Pty Ltd
CBS-L57031



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3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

CLIENT
REBECCA MCGLADE
rimglade@gmail.com
0450 665 373

PROJECT NO.
DC25005

PROJECT
PROPOSED AGRICULTURAL BUILDING

PROJECT STATUS
CONSTRUCTION

PROJECT ADDRESS
28 MORBEY ROAD
GEMSBROOK
VIC 3783

SHEET
SITE PLAN -
EXISTING

DRAWN BY
DIN

CHECKED BY
RD

SCALE
1:500

SIZE
A3

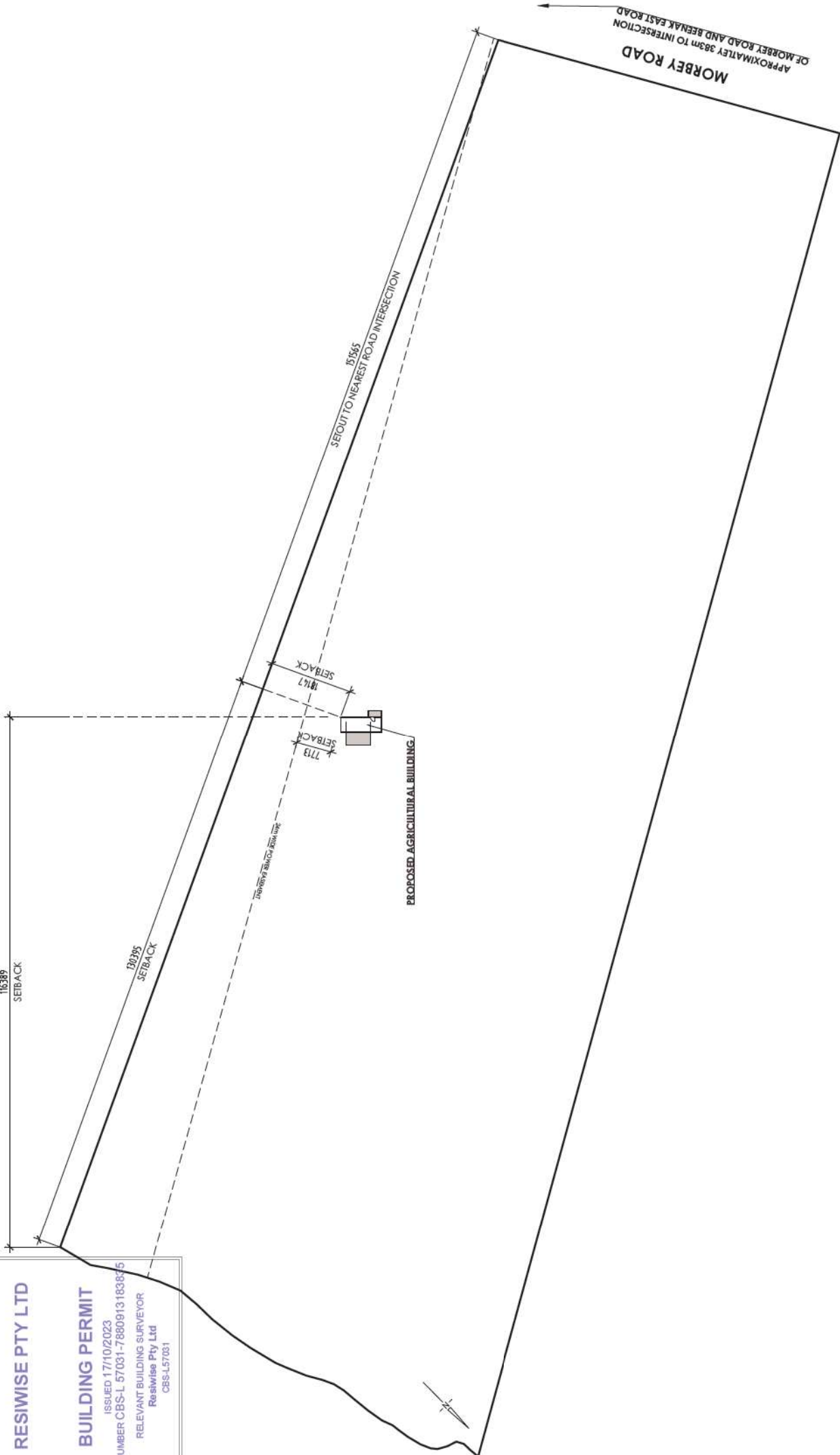
DATE
17/03/2023

REVISION
G

DRAWING NO.
A.01

NO.	DESCRIPTION	DATE	BY	CHKD
A	PRELIMINARY DRAWINGS (M/AOLO DRAFTING)	25.10.22	DM	
B	DRAWING AMENDMENTS (M/AOLO DRAFTING)	05.11.22	DM	
C	CERTIFIER ITEMS 01 (M/AOLO DRAFTING)	24.11.22	DM	
D	CERTIFIER ITEMS 02 (M/AOLO DRAFTING)	07.12.22	DM	
E	CERTIFIER ITEMS 03 (M/AOLO DRAFTING)	15.12.22	DM	
F	CERTIFIER ITEMS 04 - GO DESIGN P/L	09.03.23	NO	
G	CERTIFIER ITEMS 05 (P/FE DETAILS) - GO DESIGN P/L	09.03.23	NO	

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BUILDING PERMIT
 ISSUED 17/10/2023
 NUMBER CBS-L 57031-7880913183875
 RELEVANT BUILDING SURVEYOR
 Resiwise Pty Ltd
 CBS-L57031



NO.	DESCRIPTION	DATE	BY	CHKD
A	PRELIMINARY DRAWINGS (M/ALO DRAFTING)	25.10.22	DM	
B	DRAWING AMENDMENTS (M/ALO DRAFTING)	03.11.22	DM	
C	CERTIFIER ITEMS 01 (M/ALO DRAFTING)	24.11.22	DM	
D	CERTIFIER ITEMS 02 (M/ALO DRAFTING)	07.12.22	DM	
E	CERTIFIER ITEMS 03 (M/ALO DRAFTING)	15.12.22	DM	
F	CERTIFIER ITEMS 04 - GO DESIGN P/L	09.03.23	NO	
G	CERTIFIER ITEMS 05 (P/FE DETAILS) - GO DESIGN P/L	09.03.23	NO	

SHEET
SITE PLAN - OVERALL
A.02
 DRAWN: DM
 CHECKED: RD
 SCALE: 1:800
 SIZE: AS
 DATE: 17/03/2023
 REVISION: G

PROJECT
 PROPOSED AGRICULTURAL BUILDING
CONSTRUCTION
 PROJECT ADDRESS
 28 MORREY ROAD
 GEMSBROOK
 VIC 3783
 PROJECT NO.
 DC25005

CLIENT
 REBECCA MCGLADE
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NOTE:

CONNECT NEW STORM WATER BOWNS TO LEGAL POINT OF DISCHARGE.

ALL DIMENSIONS BETWEEN OPENINGS ARE NOMINAL ONLY AND MAY BE CHANGED SLIGHTLY AT THE DISCRETION OF THE BUILDING PERMIT

DRAINAGE NOTES: 17/10/2023

ALL SUBSURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEER'S DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.3 DRAINAGE REQUIREMENTS OF AS 2885:2011. WHEREIN FOR BUILDINGS ON HIGHLY REACTIVE SITES SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION. THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING, WHERE PIPES PASS UNDER THE FOOTING SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER.

B - FOR BUILDINGS ON HIGHLY REACTIVE SITES, THE PLUMBER / DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORM WATER, SANITARY PLUMBING DRAINS AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4 PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1M OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION.

C - SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50MM OVER THE FIRST 1000MM FROM THE DWELLING.

D - SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH 5.3.3 SHALL BE INSTALLED FOR GROUNDWATER OR AGGRESSIVE SOILS.

NOTE: VAPOUR PERMEABLE MEMBRANE MUST BE INSTALLED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF A BUILDING IN ACCORDANCE WITH BCA 3.8.7.2.

REFER SHEET A02 FOR SEWAGE AND SETBACKS
STORMWATER DISPOSAL TO BE DETERMINED BY THE COUNCIL (LIMITED TO SANITARY TANK)

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3. REFER TO CONSTRUCTION AND FINISHES FOR FINISHES.
4. REFER TO THE DRAWING FOR DIMENSIONS TO THE FACE UNLESS OTHERWISE SPECIFIED.
5. REFER TO THE DRAWING FOR DIMENSIONS TO THE FACE UNLESS OTHERWISE SPECIFIED.

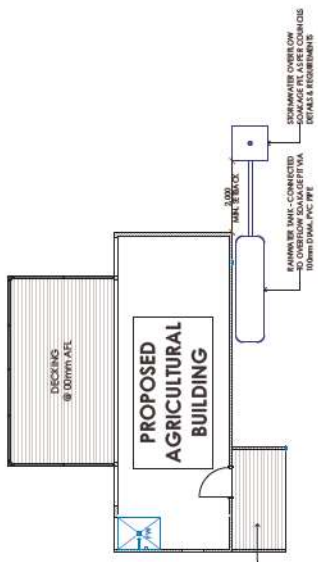
CLIENT: REBECCA MCGLADE
r.mcglade@gmail.com
0450 660 373

PROJECT: PROPOSED AGRICULTURAL BUILDING
PROJECT STATUS: CONSTRUCTION
PROJECT ADDRESS: 28 MORREY ROAD
GEMSBROOK
VIC 3783

SHEET: SITE - PROPOSED PLAN

DRAWN: [Name] CHECKED: [Name] NO: [Number]
DRAWING NO: A.03
SCALE: 1:150
DATE: 17/03/2023

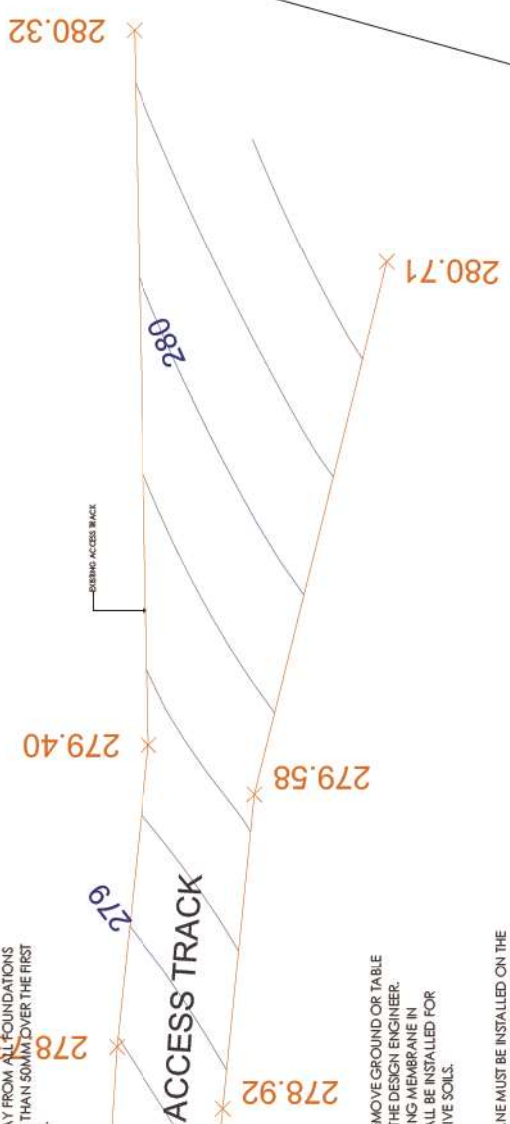
NO.	DESCRIPTION	DATE	BY	CHKD
A	PRELIMINARY DRAWINGS (M/AOLO DRAFTING)	25.10.22	DM	
B	DRAWING AMENDMENTS (M/AOLO DRAFTING)	03.11.22	DM	
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E	CERTIFIER ITEMS 03 (M/AOLO DRAFTING)	15.12.22	DM	
F	CERTIFIER ITEMS 04 - GO DESIGN P/L	09.03.23	NO	
G	CERTIFIER ITEMS 05 (P/FE DETAILS) - GO DESIGN P/L	09.03.23	NO	



24m WIDE POWERLINE EASEMENT

STAR POST & WIRE FENCE

× 282.36



NORTH

PROJECT NO. DC25005

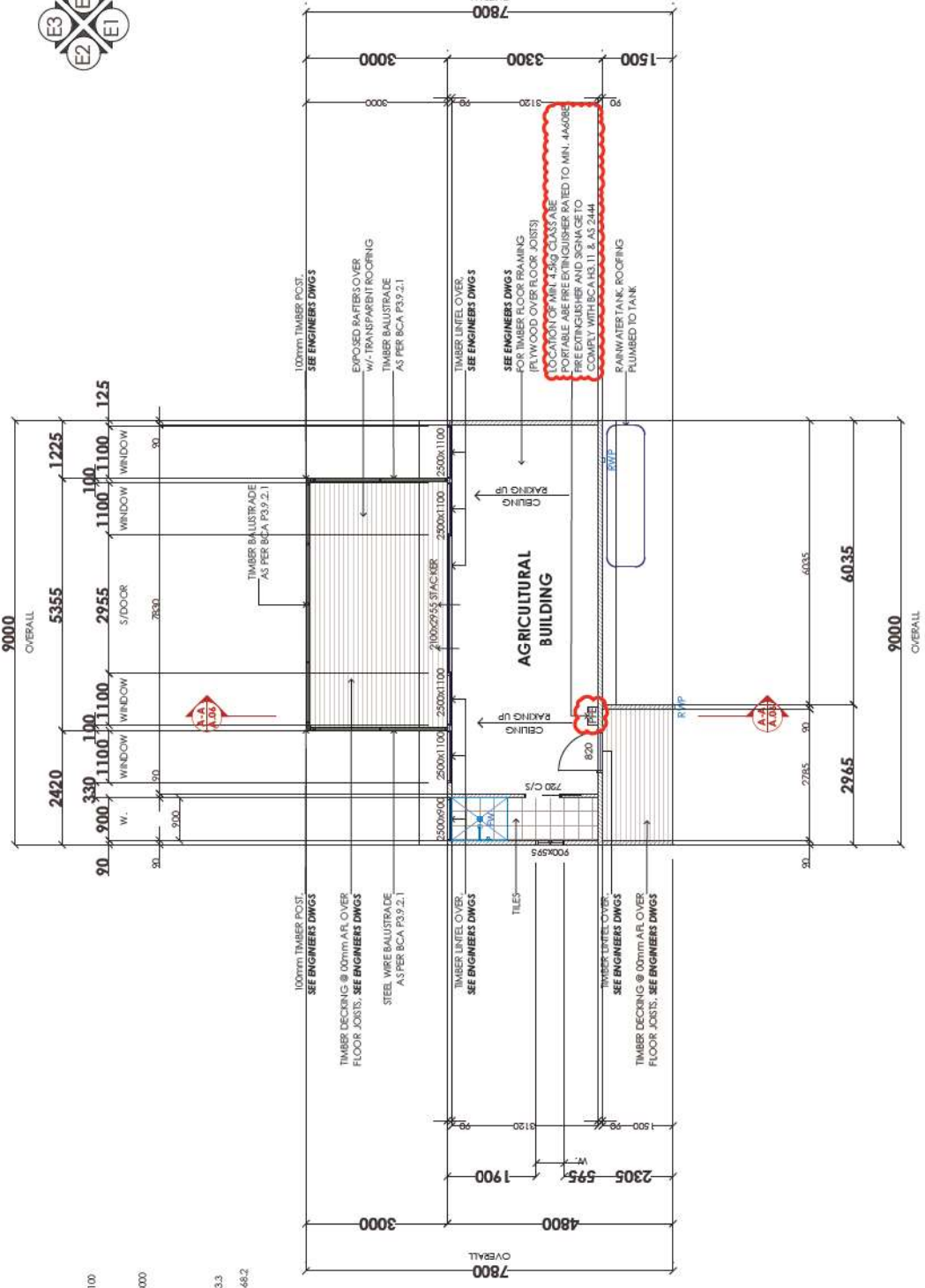
AREAS	
AREA	PERIMETER
AGRICULTURAL BUILDING	50.21
	33.60
AREA	PERIMETER
AGRICULTURAL BUILDING	50.21 m ²
AREA	PERIMETER
ROOF AREA	54.21
	33.60

- DO NOT SCALE FROM DRAWING. DIMENSIONS SHOWN ARE TO BE FOLLOWED & MUST BE CHECKED ON SITE.
- DOUBLE GLAZING THROUGHOUT.
- NZS WIND CLASSIFICATION.
- AGRICULTURAL BUILDING DESIGNED AS PER VAVCO ENGINEER DRAWINGS.
- ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS #220742.



GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND RELEVANT AUSTRALIAN STANDARDS.
- TERMITE TREATMENT TO COMPLY WITH BCA F3.1.4.2 & AS 3660.1
- EARTHWORKS TO COMPLY WITH BCA 2019 F3.1.1.1
- PLUMBING TO COMPLY WITH BCA F3.4.4 & AS 4100
- GLAZING TO COMPLY WITH BCA F3.6 & AS 2047
- ELECTRICAL WIRING AND INSTALLATIONS TO COMPLY WITH AS 3000
- SMOKE ALARMS TO COMPLY WITH BCA F3.7.5 & AS 3786
- WATERPROOFING TO COMPLY WITH BCA F3.1 & AS 3740
- CONSTRUCTION OF SANITARY COMPARTMENTS AS PER BCA F3.8.3.3
- MECHANICAL VENTILATION TO COMPLY WITH BCA F3.8.5 & AS 1668.2
- BALUSTRADES TO COMPLY WITH BCA F3.9.2
- BUILDING SEALS TO COMPLY WITH BCA F3.12.3
- WALLS TO COMPLY WITH AS 1662.1
- ALL TIMBER FRAMING TO BE GRADED TO COMPLY WITH AS 1684
- RESINISE PTY LTD
- RESINISE PTY LTD
- METAL ROOFING TO COMPLY WITH BCA F3.5.1 & AS 1562.1
- WALLS TO COMPLY WITH AS 1662.1



NO.	DESCRIPTION	DATE	BY
A	PRELIMINARY DRAWINGS (MAYLO DRAFTING)	25.10.22	DM
B	DRAWING AMENDMENTS (MAYLO DRAFTING)	08.11.22	DM
C	CERTIFIER ITEMS 01 (MAYLO DRAFTING)	24.11.22	DM
D	CERTIFIER ITEMS 02 (MAYLO DRAFTING)	07.12.22	DM
E	CERTIFIER ITEMS 03 (MAYLO DRAFTING)	15.12.22	DM
F	CERTIFIER ITEMS 04 - GO DESIGN P/L	09.03.23	NO
G	CERTIFIER ITEMS 05 (P/FE DETAILS) - GO DESIGN P/L	09.03.23	NO

PROPOSED FLOOR PLAN

DRAWN BY	DM	CHECKED BY	NO	SCALE	1:100	SIZE	A3
DRAWING NO.	A.04	REVISION	G	DATE	17/03/2023		

PROJECT

PROPOSED AGRICULTURAL BUILDING

PROJECT STATUS

CONSTRUCTION

PROJECT ADDRESS

28 MORREY ROAD
GEMEROOK
VIC 3783

CLIENT

REBECCA MCGLADE
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0450 660 313

PROJECT NO.

DC25005

NORTH

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Drafting + Project Management

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GENERAL NOTES

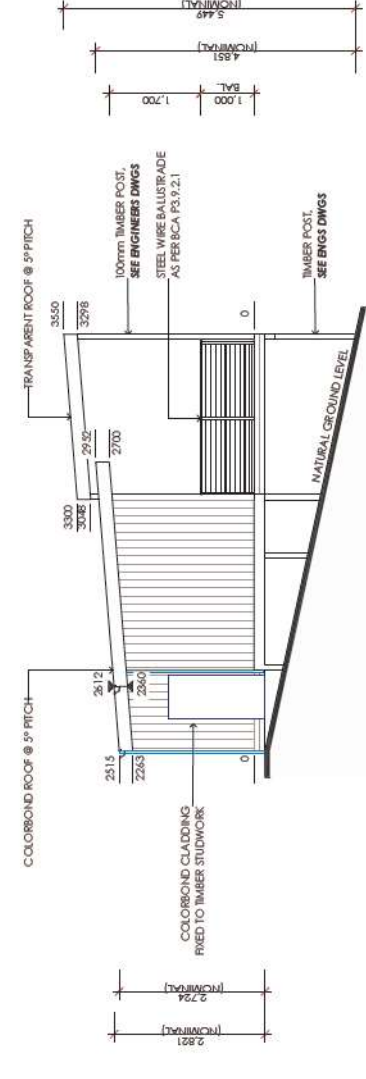
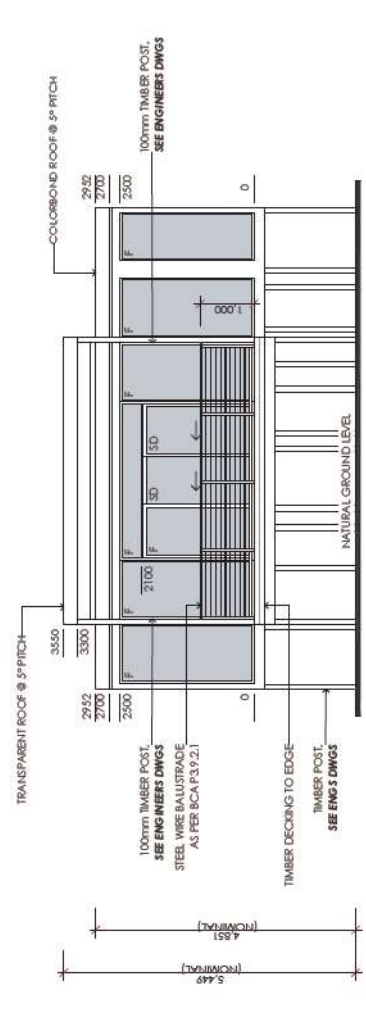
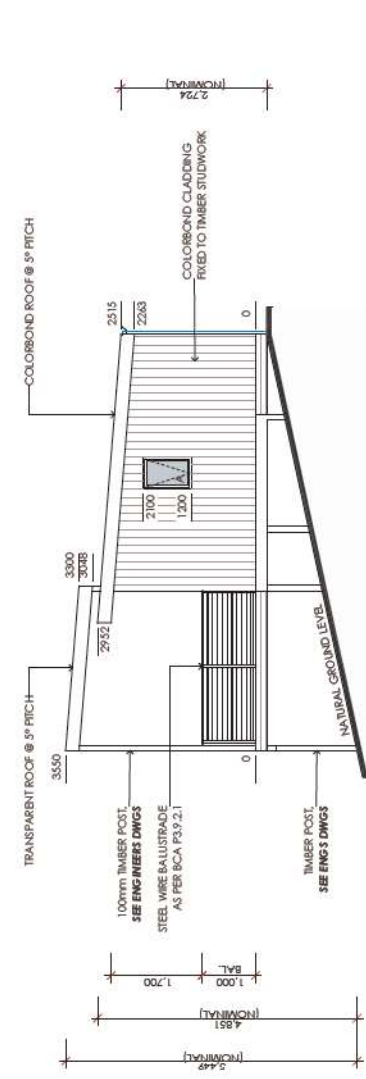
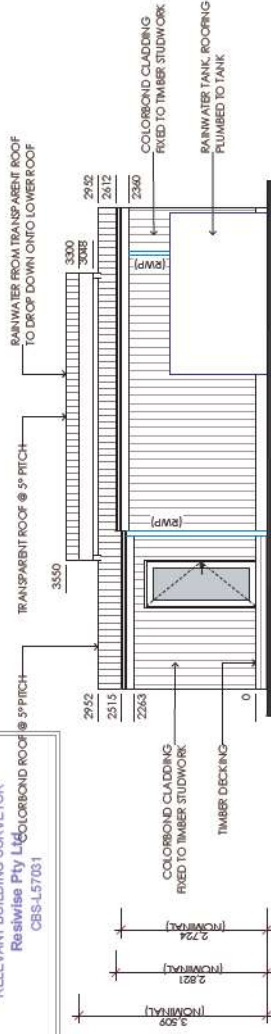
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4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

NOTE:
DOUBLE GLAZING THROUGHOUT

RESIWISE PTY LTD

BUILDING PERMIT

ISSUED 17/10/2023
NUMBER CBS-L 57031-7880913 183835
RELEVANT BUILDING SURVEYOR
Resiwise Pty Ltd
CBS-L57031



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PROJECT STATUS
CONSTRUCTION

PROJECT ADDRESS
28 MORREY ROAD
GEMSBROOK
VIC 3783

PROJECT NO.
DC25005

PROPOSED AGRICULTURAL BUILDING

SCALE
1:100

DATE
17/03/2023

REVISION
G

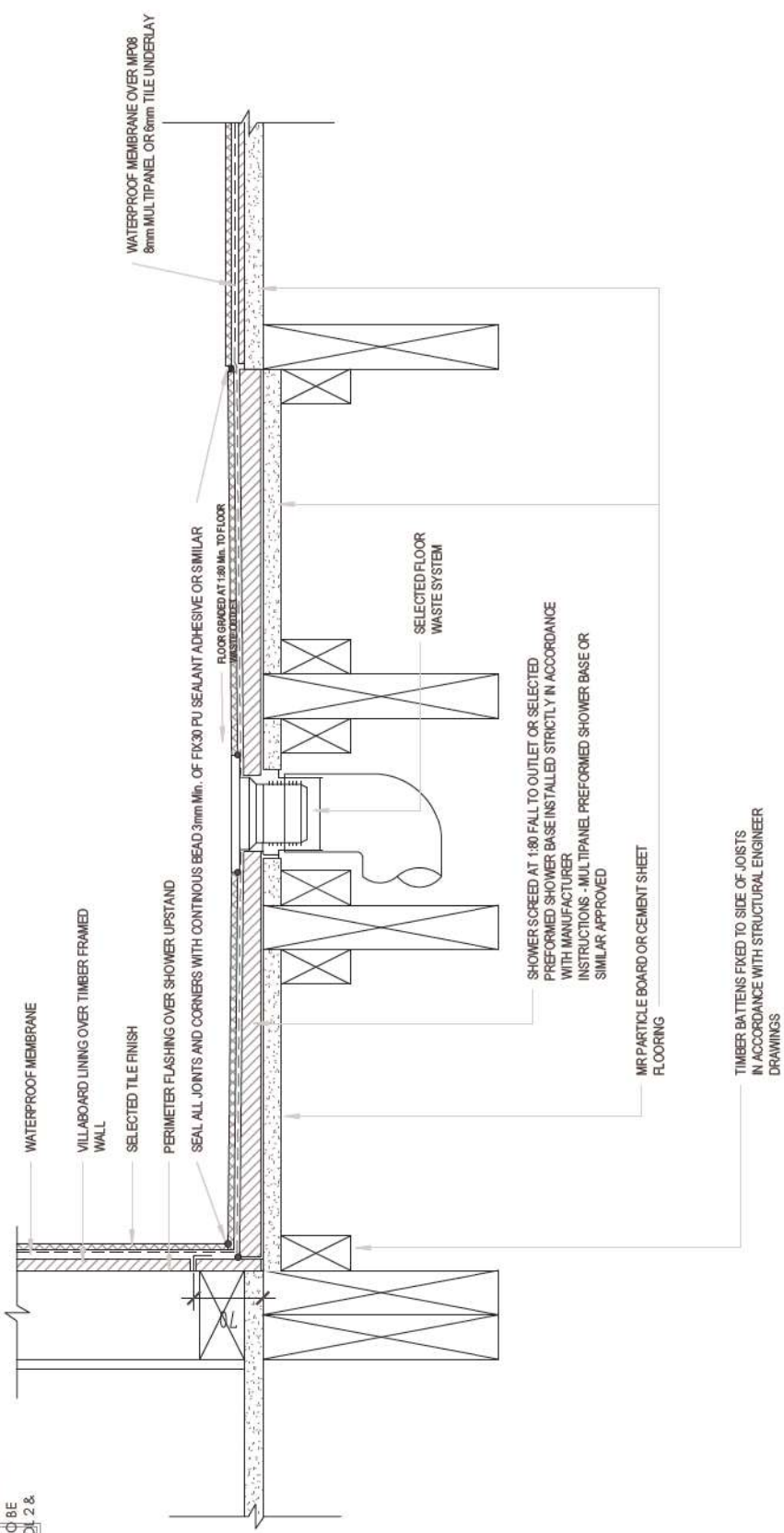
NO. DESCRIPTION

NO.	DESCRIPTION	DATE	BY	CHKD
A	PRELIMINARY DRAWINGS (M/AOLO DRAFTING)	25.10.22	DM	
B	DRAWING AMENDMENTS (M/AOLO DRAFTING)	03.11.22	DM	
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E	CERTIFIER ITEMS 03 (M/AOLO DRAFTING)	15.12.22	DM	
F	CERTIFIER ITEMS 04 - GO DESIGN P/L	06.03.23	NO	
G	CERTIFIER ITEMS 05 (P/FE DETAILS) - GO DESIGN P/L	09.03.23	NO	

NOTE:

RES/WISE PTY LTD
WET AREA WATER PROOFING

ALL WET AREAS TO COMPLY WITH PART 3.8.1 & TABLE 3.8.1 OF THE BCA VOL 2 & AS3740:2010 & EXTERNAL AREAS TO AS/NZS4654.1:2012 AS/NZS4654.2:2012.
WALL FINISHES SHALL BE WATER RESISTANT TO A HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES & 1500mm ABOVE BATHS, BASINS, SINKS & TROUGHES & WITHIN 750mm TO 913mm TO THE WALL, TIMBER FLOORS INCLUDING PARTICLEBOARD & PLYWOOD IN AREAS ADJACENT TO BATHS & SPAS & OUTSIDE SHOWER AREAS TO BE WATERPROOFED AS PER PART 3.8.1. BCA VOL 2 & AS/NZS4654 PARTS 1 & 2 2012.



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4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

CLIENT
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rjmcglade@gmail.com
0430 665 373

PROJECT
PROPOSED AGRICULTURAL BUILDING

PROJECT STATUS
CONSTRUCTION

PROJECT ADDRESS
28 MORREY ROAD
GEMSBROOK
VIC 3783

PROJECT NO.
DC25005

PROPOSED AGRICULTURAL BUILDING

PROJECT STATUS
CONSTRUCTION

PROJECT ADDRESS
28 MORREY ROAD
GEMSBROOK
VIC 3783

PROJECT NO.
DC25005

PROPOSED AGRICULTURAL BUILDING

PROJECT STATUS
CONSTRUCTION

PROJECT ADDRESS
28 MORREY ROAD
GEMSBROOK
VIC 3783

PROJECT NO.
DC25005

PROPOSED WET AREA DETAILS

SCALE
1:5

SIZE
AS

DATE
17/03/2023

REVISION
G

DRAWING NO.
A.07

NO.	DESCRIPTION	DATE	BY	CHKD
A	PRELIMINARY DRAWINGS (M/AOLO DRAFTING)	25.10.22	DM	
B	DRAWING AMENDMENTS (M/AOLO DRAFTING)	05.11.22	DM	
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F	CERTIFIER ITEMS 04 - GO DESIGN P/L	09.03.23	NO	
G	CERTIFIER ITEMS 05 (PFE DETAILS) - GO DESIGN P/L	09.03.23	NO	

PROPOSED PORTABLE FIRE EXTINGUISHER TO BE MIN.

ALL CHASSIS ARE PERMIT PORTABLE ABLE FIRE EXTINGUISHER RATED TO MIN.

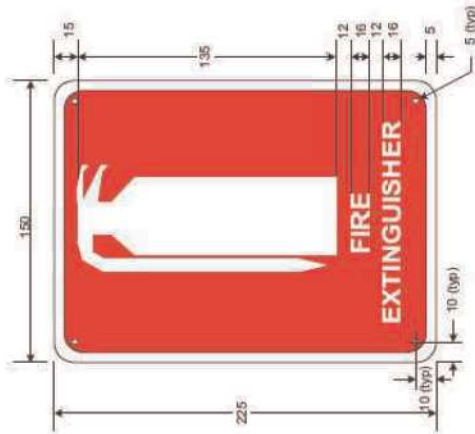
4A-GOMESUED 17/10/2023

NUMBER EXTINGUISHER AND SIGNIFICANT

COMPLY WITH BCA H3.11 & AS 2444

RELEVANT BUILDING SURVEYOR

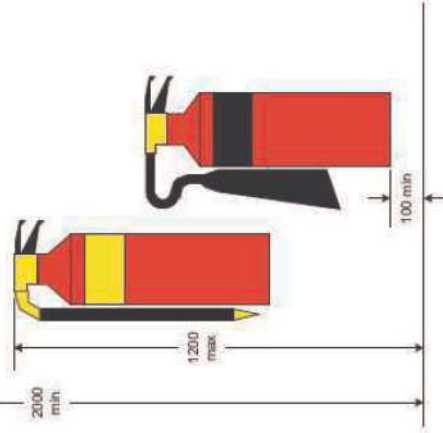
REFER TO CHASSIS FOR LOCATION



DIMENSIONS IN MILLIMETRES

NOTE: All dimensions shown are minimum. Any enlargement of the sign should have all dimensions in proportion to those shown above.

FIGURE 3.1 TYPICAL EXTINGUISHER LOCATION SIGN



DIMENSIONS IN MILLIMETRES

FIGURE 3.2 MOUNTING HEIGHTS FOR PORTABLE FIRE EXTINGUISHERS AND LOCATION SIGNS

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REGISTRATION INFORMATION: DP-4018389

GENERAL NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

CLIENT: REBECCA MCGLADE
 0450 665 313
 rmcglade@gmail.com

PROJECT: PROPOSED AGRICULTURAL BUILDING
 PROJECT STATUS: CONSTRUCTION
 PROJECT ADDRESS: 28 MORREY ROAD
 GEMSBROOK VIC 3783

PROJECT NO.: DC25005

SHEET: PROPOSED PORTABLE FIRE EXTINGUISHER DETAILS
 DRAWN: DM
 CHECKED: RD
 SCALE: 1:5
 SIZE: AS
 DATE: 17/03/2023

REVISION: G
 NO. DESCRIPTION

NO.	DESCRIPTION	DATE	BY	CHKD
A	PRELIMINARY DRAWINGS (M/AOLO DRAFTING)	25.10.22	DM	
B	DRAWING AMENDMENTS (M/AOLO DRAFTING)	03.11.22	DM	
C	CERTIFIER ITEMS 01 (M/AOLO DRAFTING)	24.11.22	DM	
D	CERTIFIER ITEMS 02 (M/AOLO DRAFTING)	07.12.22	DM	
E	CERTIFIER ITEMS 03 (M/AOLO DRAFTING)	15.12.22	DM	
F	CERTIFIER ITEMS 04 - GO DESIGN P/L	09.03.23	NO	
G	CERTIFIER ITEMS 05 (P/FE DETAILS) - GO DESIGN P/L	09.03.23	NO	

PERMIT TO CONSTRUCT, INSTALL OR ALTER

Eleanor Stockley
201/16 Porter St
Pahran 3181

Dear Eleanor Stockley,

Under the provision of the *Environment Protection Act 2017*, permission is hereby given to install an onsite wastewater management system at the following premises:

Property Number: **2594050350**
Property Address: **28 Morbey Road
Gembrook VIC 3783**
Property Owner: **Eleanor Stockley**
System Type: **AWTS and Absorption Trenches**

This permit is issued subject to the provisions of the *Environment Protection Act 2017* and is valid for 24 Months from the date of issue unless construction of the system has commenced within that period, and is subject to the following conditions:

Please note:

1. The onsite wastewater management system is **NOT** to be used until a “**Certificate for Use**” has been issued for the system.
2. All plumbing & drainage works to be carried out by a licensed plumber/drainer.
3. A certificate of compliance is to be submitted for works carried out by plumber/drainer at the completion of works, prior to a Certificate for use being issued.
4. This permit and conditions apply to the **ONSITE WASTEWATER MANAGEMENT SYSTEM** and belong to and bind the original property owner. In the event that this property is sold an application to transfer this permit to the new property owners must be made to Council.
5. Property must connect to mains sewer within three (3) months of it becoming available.

Yours Faithfully



Owen Hardidge
Manager Regulatory Services
Issuing Date: 07/02/2023

ENVIRONMENTAL PROTECTION ACT 2017

PART 4.3 – ONSITE WASTEWATER MANAGEMENT SYSTEM

Permit to Construct, Install or Alter Onsite Wastewater Management System

Permit Number: ST1047022
Council Property No: 2594050350
Property Owner: Eleanor Stockley
Plumber/Drainer: Michael Seletto Factory 1/13-15 Curie Street, SEAFORD VIC 3198
Type of System: Ubi Aqua AWTS and Absorption Trenches
Address of Property: 28 Morbey Road, Gembrook VIC 3783

CONDITIONS

INSTALLATION AND USE

1. The system must be constructed, installed and maintained in accordance with the following.
 - 1.1 The Aerated Water Treatment System must hold an Australian Standard 1546.3 certificate of conformance issued by a Certified Accrediting Body within the last 5 years.
 - 1.2 The system is approved for wastewater flows not exceeding 150L per day.
 - 1.3 The current edition of EPA's Guidelines for Environmental Management *Code of Practice – On-site Wastewater Management*.
 - 1.4 Australian/New Zealand Standard 1547 On-site domestic-wastewater management and Australian/New Zealand Standard 3500 National plumbing and drainage code and other relevant Australian Standards.
 - 1.5 Council specifications and guidelines.
2. The Permit to Install/Alter is valid for 24 Months from the date of approval. Failure to commence installation or alteration within the 24-month period will render this permit void.
3. The permit holder **must** notify Council for an inspection no less than 24 hours prior to the inspection:
 - Immediately prior to the backfilling of the effluent dispersal field
 - Immediately after installation of the system is finished.
 - Other times to suit the individual system.
4. Extending the buildings served by the system may cause the above limits to be exceeded. A Permit to Alter an Onsite Wastewater Management System must be obtained from Council

before altering the system to cope with the increased flows associated with the installation of additional plumbing fixtures and features.

5. The system must not be altered or modified, except with the approval of the Council. A Permit to Alter an Onsite Wastewater Management System must be obtained from Council before making any alterations to the system.
6. The system must be constructed in accordance with the permit application conditions. In the event of any inconsistency arising between the application and the conditions of this permit, the conditions of this permit will apply and enforced.
7. An alarm system with suitable visual and/or audio warning signal must be installed in an appropriate location to indicate failure of the effluent pump or aeration component.
8. Buildings, driveways, concrete, tennis courts, swimming pools, garden beds, vegetable gardens, large trees and the like must not be placed in or on wastewater disposal areas. No buildings or works shall occur over any part of the approved onsite wastewater management system including the septic tank.
9. Effluent from the system must not discharge beyond the boundaries of the allotment. Sewage, sullage and other liquid wastes to arise from the development shall be treated and retained on site by an onsite wastewater management system in accordance with the requirements of the *Environment Protection Act 2017*, the current Guidelines for Environmental Management: Code of Practice – Onsite Wastewater Management and the Responsible Authority.
10. All access openings for the onsite wastewater management system must be brought up to ground level and comply with Australian Standard 1546, *On-site domestic wastewater treatment units – Septic Tanks*.
11. Prior to the issue of a Certificate of Approval to Use the following documentation must be submitted to Council.
 - Certificate of compliance from the licensed plumber, who installed the system.
 - A commissioning report from the manufacturer, demonstrating the plant is operating in accordance with the manufacturers specifications.
 - An as installed plan showing the location of buildings in relation to the onsite wastewater management system. The plans must show the measurements and setbacks to boundaries and structures from the above components of the onsite wastewater management system.
12. Should sewer become available, the property must connect to sewer and notify the responsible authority.

ABSORPTION TRENCHES

13. Absorption trenches must be sized, designed, and constructed in accordance with the clauses of Appendix L Australian Standard 1547:2012 as amended.
14. Absorption trenches must be laid level along the contour of the land.
15. Absorption trenches must be commenced at a point where ground level is lower than the invert of the septic tank outlet. If adequate fall cannot be achieved from the septic tank an effluent pump and warning light will be required.
16. Absorption trenches must be a maximum 30m in length.
17. The total length of the absorption trenches must be at least 30m.
18. The width of the absorption trenches must be 600mm.
19. The depth of the absorption trenches must be 450mm.
20. There must be at least 3m of undisturbed soil between trenches.
21. Absorption trenches must be located at least 30m from open drains, dams and watercourses.
22. Distribution pits and weirs must be installed on each absorption trench.
23. The bottom of absorption trenches must be located at least 1.5m above ground water table level.
24. Provision must be allowed for future extension of trenches.

SYSTEM MAINTENANCE

25. The system must be assessed for permit compliance by an accredited person acceptable to the Council every three (3) years.
26. The property owner must enter a maintenance contract for the sewage treatment plant with an approved maintenance contractor that includes at least four services per year. Copies of treatment plant service records must be submitted to Council's Environmental Health Unit within 14 days of the service being completed.
27. A sample of effluent must be taken at least once each 12 months for surface irrigation or disposal via subsurface absorption or transpiration trenches/other) and analysed by a laboratory registered with NATA (the National Association of Testing Authorities) for the tests specified below:
 - Samples of the effluent must be analysed for:
 - Biochemical Oxygen Demand

- Suspended Solids

28. A copy of the maintenance reports and permit compliance assessment report must be submitted to Council within 7 days of each assessment being made.

29. The wastewater disposal area must be maintained as a permanent, dedicated area.

30. Vehicles and livestock must be excluded from the wastewater disposal area.

31. Storm water must be diverted around the wastewater disposal area to a Council approved point of discharge.

32. Buildings, driveways, concrete, tennis courts, swimming pools, garden beds, vegetable gardens, large trees and the like must not be placed in or on wastewater disposal areas.

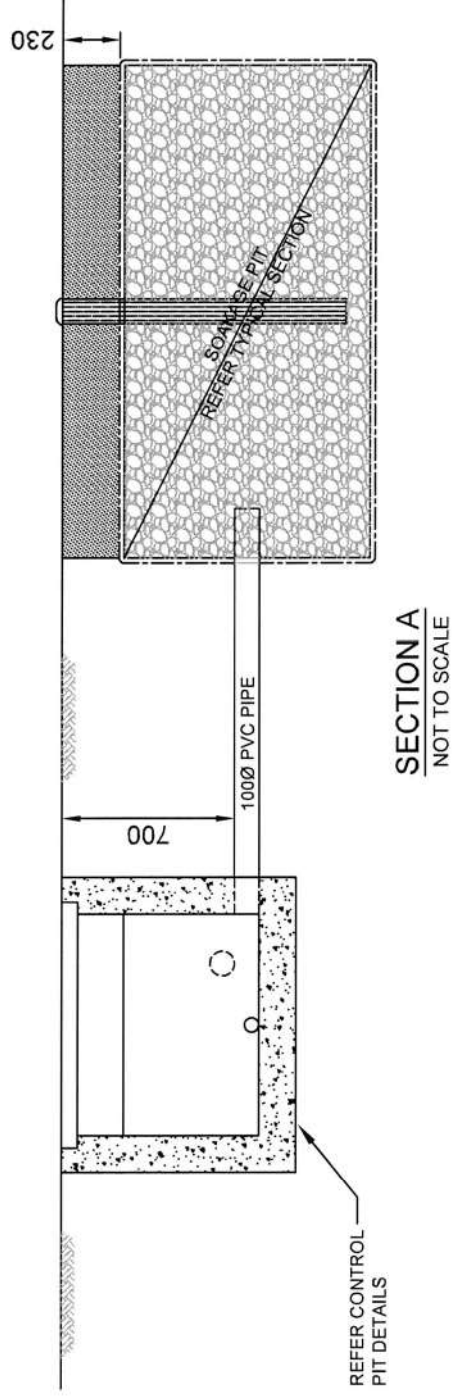
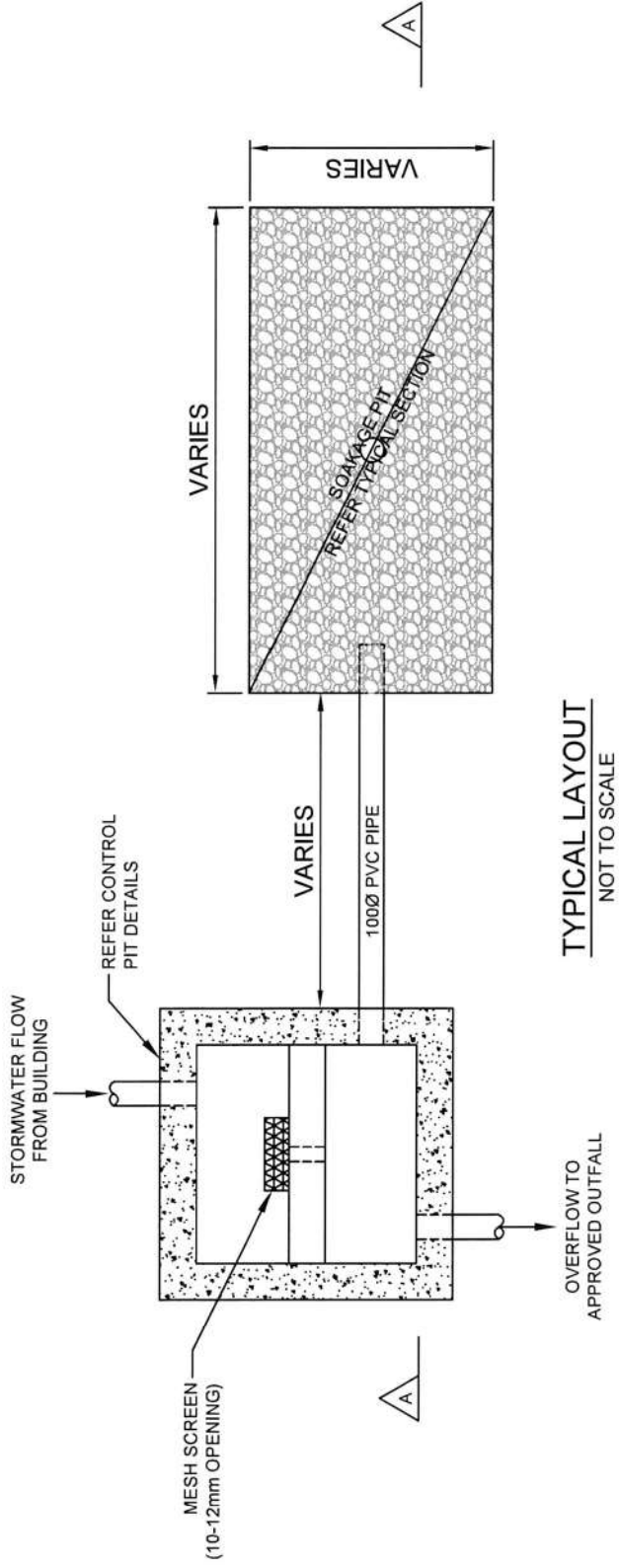
33. If further subdivision of the property is to occur the onsite wastewater management system must be located so that it is fully contained within the parent property boundary.

If you have any further enquiries, please contact Billie Ling on 1300 787 624.



Owen Hardidge
Manager Regulatory Services
Issuing Date: 07/02/2023





REVISIONS		STANDARD DRAWING		APPROVED:
D		OUTLET TO SOAKAGE PIT		ISSUED:
C		TYPICAL LAYOUT		DRG. NO.:
B		STORM WATER STANDARDS		PAGE. NO.:
A	NOT TO SCALE			REV.:



NOTES:

1. PIT TRENCH TO BE BACKFILLED WITH 20mm OR 40mm AGGREGATE (SINGLE SIZE ROCK)
2. 100mm SLOTTED PVC PIPE UPSTAND REQUIRED TO ALLOW SURCHARGING OF TRENCH
3. MINIMUM OF 1 UPSTAND PER 3m OF TRENCH EG; 5m TRENCH REQUIRES 2NO. UPSTANDS WITH VENT
4. VOLUME OF TRENCH IN CUBIC METERS TO BE DETERMINED BY MULTIPLYING THE TOTAL SITE AREA(m²) X .0087
5. SHOULD THE SITE HARD STAND COVERAGE EXCEED 60%; THE ABOVE RESULT WILL REQUIRE FACTORING IN CONSIDERATION OF ACTUAL COVERAGE
6. SUGGESTED TRENCH CROSS SECTION TO BE 1m X 1m
7. TRENCH TO BE PLACED SUCH THAT THE BASE AND FINISHED SURFACE ARE LEVEL
8. SOAKAGE PIT MAY ONLY BE INSTALLED IF APPROVED BY COUNCIL
9. PROPERTY DISCHARGE TO EXTEND A MINIMUM OF 200mm INTO THE SOAKAGE PIT
10. SOAKAGE PIT TO BE DESIGNED BY A SUITABLY QUALIFIED ENGINEER
11. SOAKAGE PIT IS REQUIRED TO EMPTY FROM FULL TO LESS THAN 50% VOLUME WITHIN 24HRS OF THE STORM EVENT
12. THE RUBBLE PIT SHALL BE SETBACK A DISTANCE AS INDICATED IN TABLE 1 "SETBACK DISTANCE" FROM ANY DWELLING, PROPERTY BOUNDARY OR STRUCTURE

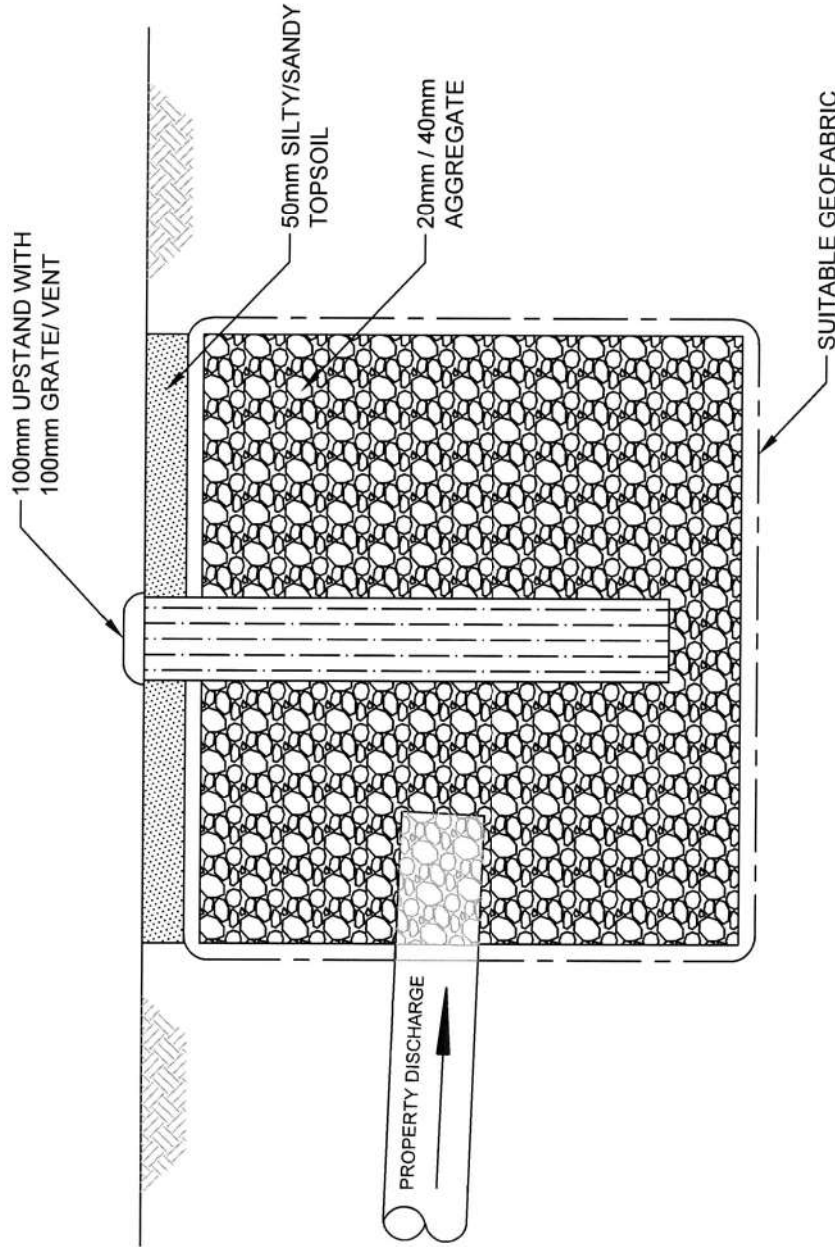


TABLE 1 - SETBACK DISTANCE

SOIL TYPE	MINIMUM DISTANCE FROM STRUCTURES OR PROPERTY BOUNDARIES (m)
SANDY SOIL	1.0
SANDY CLAY	2.0
WEATHERED OR FRACTURED ROCK	2.0
MEDIUM CLAY	4.0
HEAVY CLAY	5.0

REVISIONS

D	
C	
B	
A	

NOT TO SCALE



STANDARD DRAWING

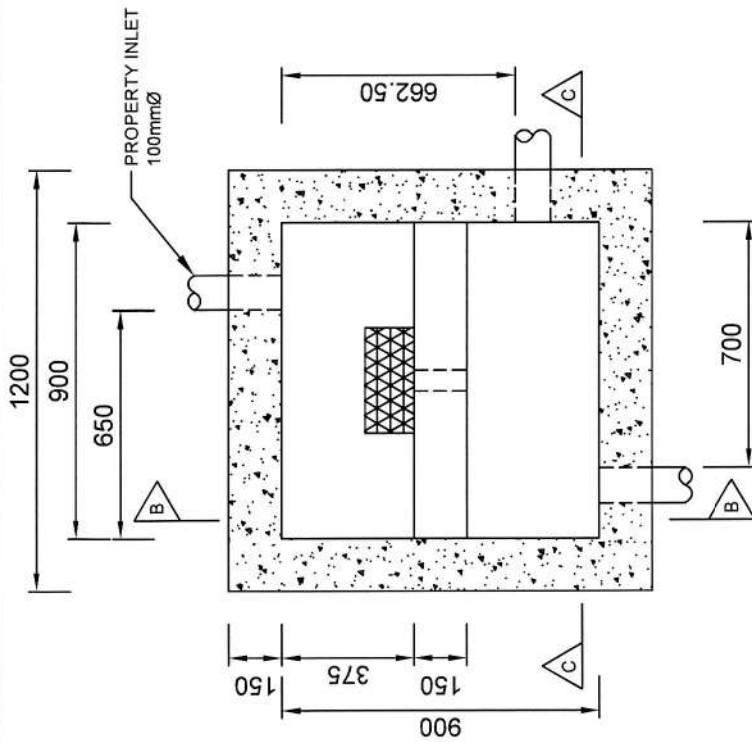
OUTLET TO SOAKAGE PIT

SOAKAGE PIT DETAILS

STORM WATER STANDARDS

APPROVED:

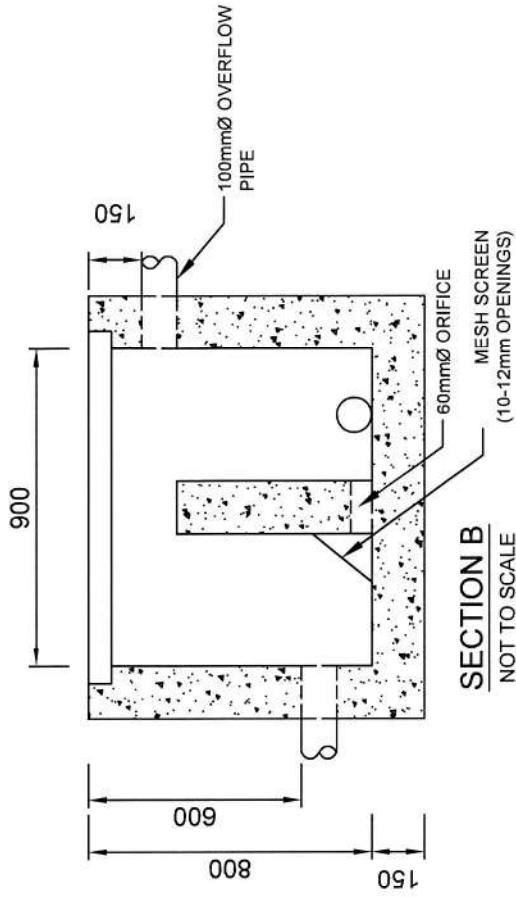
ISSUED:	
DRG. NO.:	
PAGE NO.:	2 OF 3
REV:	



CONTROL PIT LAYOUT

NOT TO SCALE

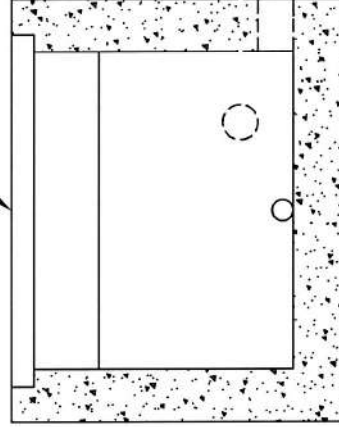
- NOTES:
- REINFORCEMENT TO BE S192 MESH PLACED AS PER THE NOTES BELOW
 - PIT REINFORCEMENT SHALL HAVE 300MM MIN LAPS, CLEAR COVER TO BE 50MM
 - MIN CORNER RETURN BARS MAY BE FABRIC OR EQUIVALENT BARS
 - PRECAST PITS WITH THINNER WALLS AND LESS STEEL MAY BE ACCEPTED WHERE THE MANUFACTURER CAN DEMONSTRATE THAT THE PITS HAVE ADEQUATE CAPACITY TO SUPPORT A COMBINATION OF THE FOLLOWING LOADS
 - LATERAL LOADS: EARTH PRESSURE WITH 80KN SURCHARGE
 - HYDROSTATIC PRESSURE
 - COMPACTION PRESSURE (25KPA MIN)
 - VERTICAL LOAD 80KN
 - CONCRETE STRENGTH TO BE $f_c=25\text{MPa}$ (MIN) AT 28 DAYS
 - ALL MEASUREMENTS ARE IN MILLIMETERS



SECTION B

NOT TO SCALE

HEAVY DUTY GATIC LID
OR EQUIVALENT



SECTION C

NOT TO SCALE

REVISIONS			STANDARD DRAWING	APPROVED:
D			OUTLET TO SOAKAGE PIT	ISSUED:
C			RETENTION PIT DETAILS	DRG. NO.:
B			STORM WATER STANDARDS	PAGE NO.: 3 OF 3
A				REV.
NOT TO SCALE				

Bullas Building Consultants Pty Ltd

Owner Builder Report

For
Eleanor Anne Stockley

Time & Date:	Monday 13 th November 2023
Ref. Number:	OB-8950
Clients Name:	Eleanor Anne Stockley
Clients Address:	33 Albert Street, Windsor Vic 3181
Contact Number:	_____
Inspection Address:	28 Morbey Road, Gembrook Vic 3783
Weather Conditions:	Fine
Inspector:	Graham Bullas & Michelle Cocks

Form 137 B
Government Gazetted “recognised person” for owner builder inspections.



Graham Bullas

Ass.Dip.App.Sci.Bldg. Consultant,
Adv.Dip.Bldg Inspection: Dip.Bldg.Construction

Town Planning Permit	T220049 Issued 6 th October 2022
Building Permit:	CBS-L 57031-7880913183835 Issued 17/10/2023
Occupancy Permit:	N/A
Certificate of Compliance:	N/A
Certificate of Final Inspection:	N/A

Descriptive Summary of Dwelling

Description of Works

**This inspection report has been conducted on the incomplete permitted Agricultural shed.
The interior and exterior building works of this agricultural shed is incomplete.**

Services

Gas Supply:	N/A
Water Supply:	5000ltr Rainwater Water tank has been installed on concrete slab
Heating/Cooling:	N/A
Electricity Supply:	Electricity is connected to pit at top of property No power to building
Hot Water System:	N/A
Sewerage System:	N/A
Waterproofing:	No waterproofing completed & no evidence supplied
Plumbing Compliance:	Plumbing Works Not Completed
Electrical Compliance:	Electrical Works Not Completed
Exterior Painting:	N/A
Interior Painting:	Painting throughout the interior of this building is incomplete

Construction

Stumps:	75 x 75 SHS, 100 x 100 R/cut Timber 6 x 100 x 100mm Concrete Stumps no ant caps installed
Floor:	Yellow Tongue Flooring installed 6mm Hybrid board installation - Not complete
Floor Structure:	100 x100 SHS, MGP10 TP Joists & bearers, Floor insulation R2.6 Batts with 5 Ply board sheeting over subfloor joists 190 x 4 MPG10 joists 450 ctrs Joist hangers, bugle screws Open subfloor area
Roof Pitch:	Approx. 5 Degrees
Roof Frame: No Access	Assume MGP10 Timbers
Roof Cladding:	Metal Deck, Colorbond flashings, Fascia's, FC Sheet linings, Slotted gutters, Downpipe feeding into 5000ltr water tank Roof works are incomplete at rear
Wall Structure:	90 x 45mm MGP 10 Pine at 450ctrs
Wall Cladding (external)	Exterior Colorbond wall claddings have not been completed
Wall/Ceiling Lining (internal):	10mm plaster board to walls and raking ceiling, Sisalation Insulation Batts installed Internal fit out not complete
Window Frames:	Aluminium Double-Glazed Windows Installed 4 x 2.5m H x 1.2m W Windows 1 x 2.5m H x 900mm W Bathroom 1 x 2.6 x .4M above Sliding door set 2.6M x 2.1M Sliding Doors
Attached Structures:	Attached 9 x 3.3m Decking and Pergola completed
Stumps:	100x100 posts steel support brackets bolted to deck sub floor
Decking:	140 x19mm Merbau Boards, Handrail 1015mm H 11 Tensioned stainless-steel wire balustrades
Pergola Roof cladding:	Laserlite Roof Cladding
Pergola Structure:	2 x 290 x 45 MPG10 Beams, T/ Grips, 1 x 290 x45 Side beams, 190 x 45 MGP10 Rafters, 90 x45 battens, X cross bracing
Termite Protection:	NIL
No of Storeys:	One
Areas Not Accessible:	Ceiling area and wall cavities
Second Hand Material:	Unknown

Interior

Floor Coverings:	Tiled floor in bathroom, not complete 6mm Hybrid timber flooring partly installed
Lighting:	No Downlights installed
Plasterwork:	10mm Plasterwork installed
Walls/Ceilings:	Internal fixing stage not completed
Internal Doors:	Aluminium sliding door installed in a good manner No front door installed
Windows:	Double Glazed windows installed
Tiling:	Floor and wall tiling in wet area incomplete
Interior Painting:	Interior painting is incomplete
Comments:	The interior of this agricultural building is incomplete

Bathroom

Plumbing:	Plumbing has not been completed
Shower/Shower Screen:	890x1220 Shower base installed No shower screen shower rose / hose mixer tapware
Tiling:	Floor or wall tiling has not been completed in bathroom
Waterproofing:	Villaboard lining over timber framed wall Waterproofing incomplete
Window	2400 x 900 D/ Glazed & D/Glazed 900 x 440 sash window
Door:	Bathroom cavity door not installed
Comments:	All works within this bathroom are incomplete

Defects

The following defects will not be covered under a policy issued by the selected Insurer, pursuant to the provisions of S137B of the Building Act 1993 and the Ministerial Order S82 dated 20th May 2002 and invoked on the 1st July 2002

Condition & Status of Incomplete Work

This is a description of works not completed, and are excluded from the cover provided under the policy required to be issued pursuant to the Building Act 1993. (If Applicable)

- Entire fixing stage of this building has not been completed
- Floors not complete
- Bathroom not complete
- Internal painting not complete
- Electrical & Plumbing not complete
- Internal & external doors not complete
- External cladding not complete

Second Hand Materials Declaration

THIS FORM MUST BE COMPLETED BY OWNER

The Building Act requires that owner builder's list in their contract of sale, all materials used that were not new.

I/We Eleanor Anne Stockley (owner builder)

Carried out building works at

Address 28 Morbey Street, Gembrook Vic 3783

And declare that the following is a complete list of materials that were not new when installed in these building works (sign and date below)

Only new materials were installed in these buildings works

Unknown

OR

- Please list all secondhand materials.

For the purposes of the list, "materials" means all building products, fixtures, fittings, appliances, paving's etc - in effect anything installed by the owner builder or his/her contractors, subcontractors, employees etc.

SECOND HAND MATERIALS

Owner Sign & Date:

Conditions of Inspection

This report is prepared by Bullas Building Consultants Pty Ltd (“Bullas” - who is registered with the Building Practitioners Board and the holder of Builders Registration numbers CB -U 5489, IN-L20932 only for the client identified herein (“The client”). No responsibility is taken for the contents of this report should it be used by a person other than the client.

Bullas will take all reasonable care in the preparation of this report and in conducting the inspection upon which this report is based in accordance with the Australian Standards ordinarily exercised by building inspectors who practice in the locality of the premises. No liability shall arise by reason of a failure to exercise a degree of care beyond such reasonable care.

This report is prepared only on the following terms and conditions. No other terms of conditions shall be incorporated or implied unless specifically agreed in writing or required by statute.

1. This report is based on observed conditions at the date shown here on.
2. This report is prepared only on inspection of those aspects of the premises, which were reasonably accessible to the inspector at the time of inspection. Any areas inaccessible at that time are not the subjects of this report.
3. While Bullas has taken all care to indicate potential defects, this report is based on the present observable condition of the property. Bullas will not be responsible for future defects.
4. While all care is taken, this report is a professional opinion only, based on the experience of our inspector. It is not a guarantee as to the structural integrity of the premises.
5. Bullas' liability is limited to matters contained within or arising out of this report.
6. Minor defects such as hairline cracks in plaster, ill-fitting doors and windows or the like are covered only generally in this report.
7. Unless otherwise stated and specifically requested by the client, Bullas has not undertaken searches of relevant authorities having jurisdiction with respect to construction of the premises.
8. Bullas recommends that any matters requiring attention noted in the inspection notes of this report be actioned as early as possible as failure to do so may lead to premature deterioration of the premises.
9. Bullas has no liability for or in relation to any work performed by any other person including any person engaged at Bullas' suggestions.
10. The client acknowledges that it will not permit this report to be passed on or seen by to any third party without the written consent of Bullas Building Consultants unless accompanied by these terms.
11. The client agrees to indemnify Bullas with respect to any claim by a third party arising out of reliance by that third party upon this report.
12. Bullas Building Consultants are not registered pest exterminators, Bullas inspects with all care wherever it is reasonable accessible but it is not a guarantee that termites are not in the structure.
13. The inspector will test and report on condition of the appliances, if the electrical and or gas is operational, Bullas will take no responsibility if the appliances malfunction after the day of inspection.
14. This inspection report has been conducted only on the works within this report from the information supplied to us from the owner. No responsibility will be taken for non-disclosure of works undertaken by the owner or the owner's contractors.

Note

These terms and conditions have been prepared as the basis upon which Bullas is prepared to undertake consulting services. We would be pleased to discuss any aspect of these terms and to attempt to resolve any concern that may arise in their interpretation.

27 November 2023



Property number: 2594050350
Your reference: 70962994-016-1
Receipt number: -

Yarra Ranges Lawyers C/- InfoTrack (LEAP) c/o LANDATA

PROPERTY INFORMATION REQUEST REGULATION (51(1)) - FORM 10

Land (property) located at: (Lot 1) Morbey Rd, Gembrook Vic 3783

In reply to your recent enquiry, I wish to advise that a search of our building records for the preceding ten (10) years reveals the following: -

Details of Building Permits and Certificate of Occupancy or Final Inspection:

Table with 4 columns: Building Permit No., Issue Date, Building Works, Final/OP Date. Row 1: 7880913183835, 19/10/2023, Farm Building, No Record

Please note that Council is unaware of any current statement(s) issued under regulation 64 or 231 of the Building Regulations 2018.

Outstanding building related orders or Notices pertaining to the Building Act 1993: -

Table with 3 columns: Type, Issue Date, Details. Row 1: Building Notice, 19/01/2022, Illegal Dwelling

The property: Is the building or land in an area:

- That is liable to flooding (Local Flooding) (Reg. 153)? NO*
- That is a likely to be subject to termite attack (Reg. 150)? YES
- For which BAL level has been specified in a planning scheme? NO **
- That is subject to significant snowfalls (Reg. 152)? NO
- Melbourne Water designated land or works (Reg. 154)? NO

*NOTE: Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 20 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

** NOTE: BAL='Bushfire Attack Level', BAL's may also be provided as restrictions on title/subdivision and shall be complied with. Refer to 'Land Channel' website for information relating to regulation 155 (designated state bushfire prone areas) DELWP VicPlan Maps

Note:

This summary is an extract of Council's records only made at the date the information is provided. The information provided does not guarantee the current status of the building. An inspection has not been specifically conducted as a result of your enquiry. The reply provided has been prepared as accurately as possible as at the date of the reply, from information currently available to Council. Council accepts no liability for any omissions or errors contained in the information supplied. Where any doubt or concern is raised professional advice should be sought.

Any existing swimming pool/spa with a depth of over 300mm is required to be provided with suitable barriers to restrict young children from gaining access.

Note: Special attention is required to conditions of use on the Planning Permit.

Please contact Councils building department without delay should an appropriate pool barrier not be in place or should smoke alarms not be installed within a residential property.

Yours sincerely,

[Signature]

Jo Welsford
Administration Officer Regulatory Services

Extract of EPA Priority Site Register

Page 1 of 2



**** Delivered by the LANDATA® System, Department of Environment, Land, Water & Planning ****

PROPERTY INQUIRY DETAILS:

STREET ADDRESS: MORBEY ROAD

SUBURB: GEMBROOK

MUNICIPALITY: CARDINIA

MAP REFERENCES: Melways 40th Edition, Street Directory, Map 299 Reference D9
Melways 40th Edition, Street Directory, Map 299 Reference E9

DATE OF SEARCH: 24th October 2023

PRIORITY SITES REGISTER REPORT:

A search of the Priority Sites Register for the above map references, corresponding to the address given above, has indicated that this site is not listed on, and is not in the vicinity of a site listed on the Priority Sites Register at the above date.

IMPORTANT INFORMATION ABOUT THE PRIORITY SITES REGISTER:

You should be aware that the Priority Sites Register lists only those sites for which:

Priority Sites are sites for which EPA has issued a:

- Clean Up Notice pursuant to section 62A) of the Environment Protection Act 1970
- Pollution Abatement Notice pursuant to section 31A or 31B (relevant to land and/or groundwater) of the Environment Protection Act 1970
- Environment Action Notice pursuant to Section 274 of the Environment Protection Act 2017
- Site Management Order (related to land and groundwater) pursuant to Section 275 of the Environment Protection Act 2017
- Improvement Notice (related to land and groundwater) pursuant to Section 271 of the Environment Protection Act 2017
- Prohibition Notices (related to land and groundwater) pursuant to Section 272 of the Environment Protection Act 2017 on the occupier or controller of the site to require active management of these sites, or where EPA believes it is in the community interest to be notified of a potential contaminated site and this cannot be communicated by any other legislative means. Sites are removed from the Priority Sites Register once all conditions of a Notice have been complied with.

The Priority Sites Register does not list all sites known to be contaminated in Victoria. A site should not be presumed to be free of contamination just because it does not appear on the Priority Sites Register. Persons intending to enter into property transactions should be aware that many properties may have been contaminated by past land uses and EPA may not be aware of the presence of contamination. EPA has published information advising of potential contaminating land uses. Council and other planning authorities hold information about previous land uses, and it is advisable that such sources of information should also be consulted.

[Extract of Priority Sites Register] # 70666385 - 70666385123804
'357560'



Extract of EPA Priority Site Register

**** Delivered by the LANDATA® System, Department of Environment, Land, Water & Planning ****

The Environment Protection Authority does not warrant the accuracy or completeness of information in this Extract and any person using or relying upon such information does so on the basis that the Environment Protection Authority shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information. Users of this site accept all risks and responsibilities for losses, damages, costs and other consequences resulting directly or indirectly from use of this site and information from it. To the maximum permitted by law, the EPA excludes all liability to any person directly or indirectly from using this site and information from it.

For sites listed on the Priority Sites Register, a copy of the relevant Notice, detailing the reasons for issue of the Notice, and management requirements, is available on request from EPA through the contact centre (details below). For more information relating to the Priority Sites Register, refer to the EPA website at: <https://www.epa.vic.gov.au/for-community/environmental-information/land-groundwater-pollution/priority-sites-register>

Environment Protection Authority Victoria
200 Victoria Street
Carlton VIC 3053
1300 EPA VIC (1300 372 842)

Due diligence checklist

What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting the [Due diligence checklist page on the Consumer Affairs Victoria website](http://consumer.vic.gov.au/duediligencechecklist) (consumer.vic.gov.au/duediligencechecklist).

Urban living

Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

Growth areas

Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

Flood and fire risk

Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

Rural properties

Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?

Can you build new dwellings?

Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

Soil and groundwater contamination

Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

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Land boundaries

Do you know the exact boundary of the property?

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

Planning controls

Can you change how the property is used, or the buildings on it?

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

Are there any proposed or granted planning permits?

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

Safety

Is the building safe to live in?

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

Building permits

Have any buildings or retaining walls on the property been altered, or do you plan to alter them?

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

Are any recent building or renovation works covered by insurance?

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

Utilities and essential services

Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

Buyers' rights

Do you know your rights when buying a property?

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights.

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